

8.4 Blakiston Historic (Conservation) Zone

8.4.1 Definition of zone

The proposed zone includes both sides of the Princes Highway from the school and church in the west to Blakiston House in the east, as well as incorporating some of the significant residential development to the south of Blakiston House along Dalebank Court and Joseph Rd.



Aerial photograph of Blakiston

The proposed Historic (Conservation) Zone is defined by figure 8.4 on the following page.

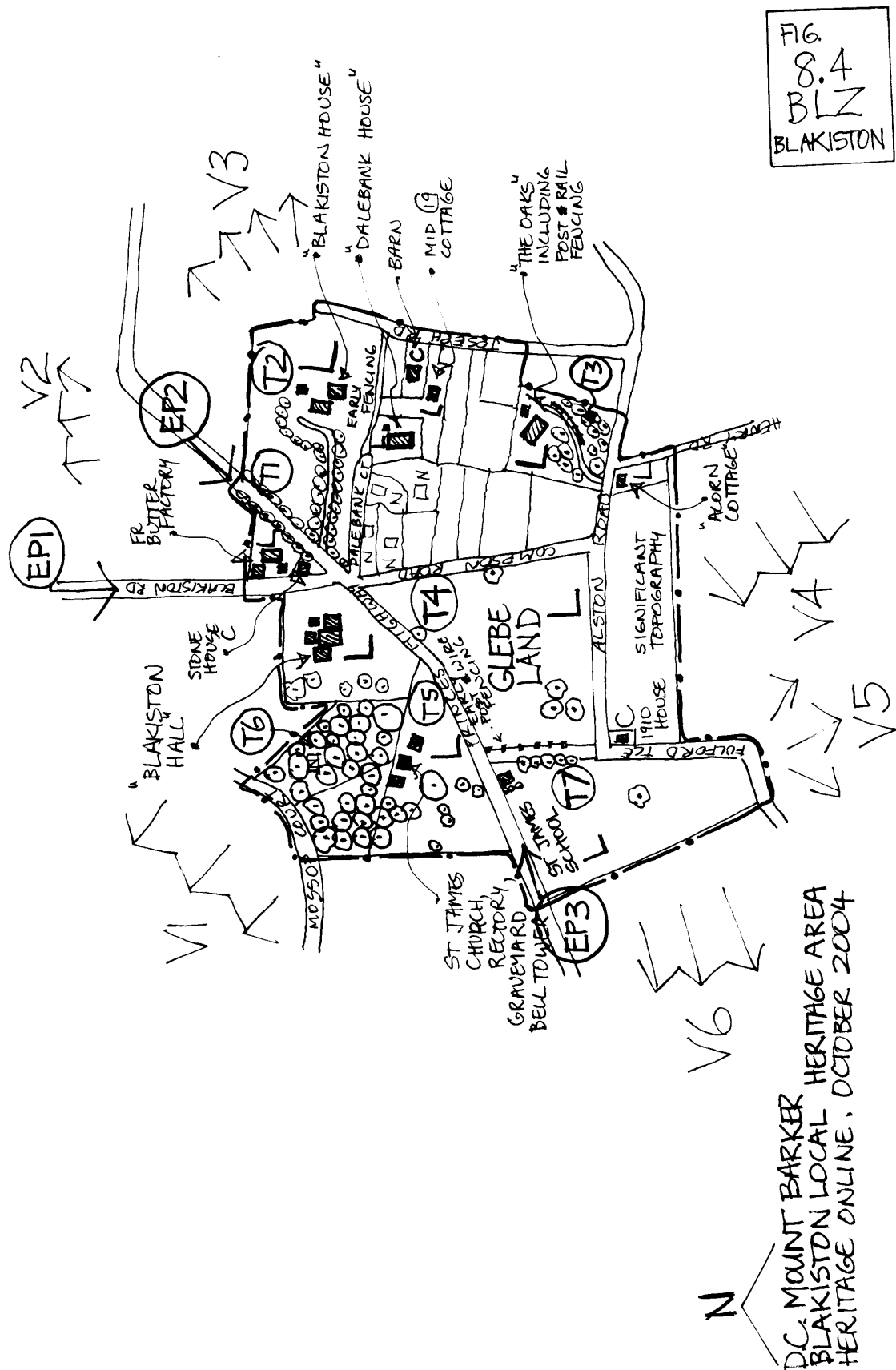


Figure 8.4 proposed Blakiston Historic (Conservation) Zone

8.4.2 Historical summary

Blakiston is one of the most historically significant localities in the district. It contains what is certainly one of the oldest surviving buildings in the district, namely Blakiston House. This house was constructed in 1840 using materials from two Manning houses which would have been prefabricated before Davison left for Australia in 1839. The settlement also contains the State's earliest rural Anglican church (St James' church of 1846), as well as the associated cemetery and manse. Another important early community building is the former school (now a ruin).

The township was officially designated in 1862, yet has never become densely populated. It is the most rural settlement to be recommended as a Historic (Conservation) Zone. Despite the sparseness of development, the settlement retains a coherent group of closely interconnected buildings which are significant both individually and because of their rural setting which promotes the interplay between the buildings. The open space makes an important contribution to the coherence and interpretation of this proposed zone.

Blakiston H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Early settlement	Francis Davison	<ul style="list-style-type: none"> • Blakiston House (by 1846) • St James' Anglican Church (1846) • fr St James school (1848)
Religion	St James' Anglican Church at Blakiston is of special significance as it was South Australia's first rural Anglican church. For the first few decades, St James' was an extremely significant Anglican landmark, being attended by people from the wider area including Mount Barker and Hahndorf. It is also the earliest burial place for Anglican residents of the Mount Barker district. The St James school was also one of the earliest schools in the district.	<ul style="list-style-type: none"> • St James' Anglican Church (1846) • Anglican cemetery (1846) • Original Anglican manse • fr St James' school (1848) • bell tower
Industrial development	Buildings associated with the industrial development of the settlement include the former brewery in the cellar's of Grey's Blakiston Hall, and former butter factory.	<ul style="list-style-type: none"> • former butter factory (1892) • Blakiston Hall (1848)
Rural residential development	Blakiston contains a variety of sparse early residential development, with larger houses including Blakiston House, Blakiston Hall (& outbuildings) and the Oaks, and small to medium residential development including the manse and various early cottages.	<ul style="list-style-type: none"> • Blakiston House (by 1846) • Blakiston Hall (1848) • St James' manse • The Oaks • Early cottages

8.4.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Blakiston H(C)Z – Table 2 Significant & contributory places in the zone

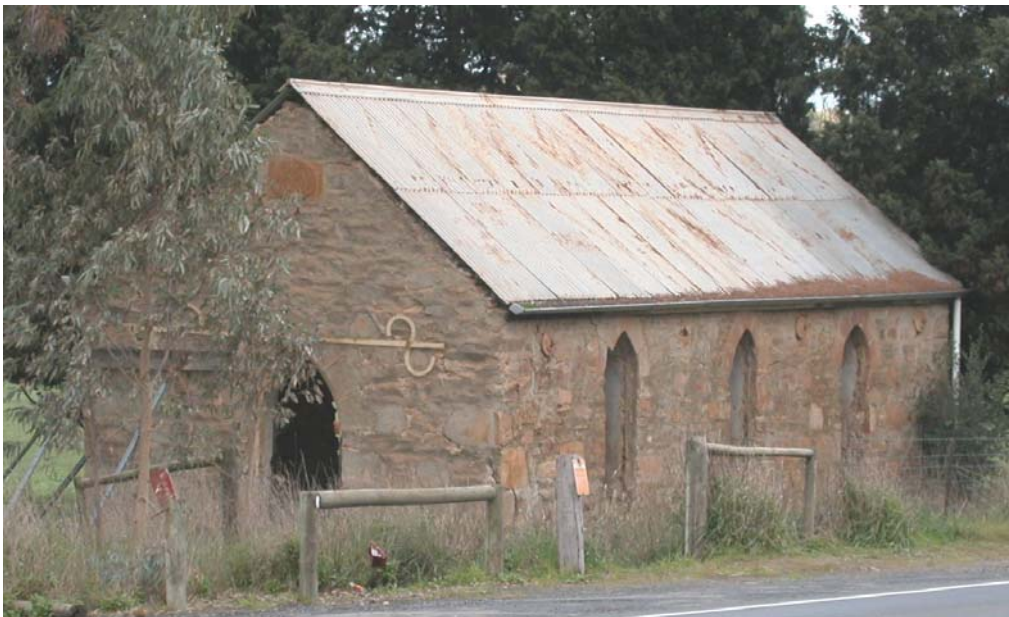
	St No	Street	Town	Place name	CT	Pope rec
18		Alston Rd	Blakiston	The Oaks - house & fencing	5614-865	L
19		Alston Rd	Blakiston	Acorn Cottage	5373-17	L
20		Alston Rd cr Fulford Tce	Blakiston	House (c1910)		C
21	lot 1	Blakiston Rd	Blakiston	Blakiston Dairy Factory	5183-65	L
22	lot 3	Blakiston Rd	Blakiston	Blakiston Hall & outbuildings	5852-549	L*
23		Dalebank Ct	Blakiston	Dalebank - house & outbuilding	5822-758	L
24		Joseph Rd	Blakiston	Cottage	5822-759	L
25		Princes Highway	Blakiston	Cottage (NE cnr Blakiston Rd)		C
26	lot 10	Princes Hwy	Blakiston	Blakiston - house & cottage	5406-428	SR
27		Princes Hwy	Blakiston	St James Anglican Church, Graveyard, Rectory & belltower	5523-486	S
28		Princes Hwy	Blakiston	Outbuilding (stone) to W of church		C
29		Princes Hwy	Blakiston	St James School	5143-736	L*



Blakiston Church & Cemetery from SW



Blakiston Hall



fr St James' school



fr dairy factory



Blakiston – Acorn Cottage

8.4.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Zone should:

- be retained;
- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.4.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.4.4 Definition of zone character & recommendations for new development

The typical characteristics of the significant and contributory places in the zone, as well as the corresponding desirable and non-desirable features of new development within the zone, are summarised in table 3.

Blakiston HCZ – Table 3 Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	Blakiston is a rural settlement of outstanding historical and representative significance. It occupies a key location on a rise overlooking the Mount Barker Summit, and on the main road between Littlehampton and Nairne. The settlement is based around the original pioneer estate of Francis Davison and South Australia's first rural Anglican church complex. The latter includes the church cemetery & rectory in a prominent position on the hill, and the church school and large glebe land, the latter providing a significant open space which acts as an early village green. The resulting settlement with its scattered development and strong rural character is reminiscent of English manorial estates of the medieval period.	This zone has the significant rural character of an early manorial estate and is not a suitable location for township subdivision and development. Allotments within the Zone should not be further subdivided.	Avoid further subdivision.
Building types, scale & massing	Apart from the church, all buildings which are currently in use are residential. Historically there is also a former school, dairy factory and cellars within the zone. There are several large houses and several cottage within the zone. All buildings are detached and most are single-storey.	Appropriate building types are small-scale residential or community. New developments and additions should be unobtrusive with a neutral visual effect.	Avoid large-scale development of any kind, including joined units and attached development. Where possible, avoid new development apart from additions.
Setbacks	Apart from the school and Acorn Cottage, all buildings are set back from the street, most behind substantial gardens or open space.	New development should preferably have greater setbacks than neighbouring significant or contributory buildings.	Avoid development close to the street.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Typical residential styles	The earliest residence is the early 1840s Blakiston House, and there are several other buildings with colonial styling. There are also some later Victorian houses.	Prefer simple, symmetrical houses with compatible proportions to existing C&S places.	Avoid Federation or other 20 th century styles and detailing.
Wall structure	Apart from the timber-panels of Blakiston House, most buildings are constructed of local stone with some brickwork.	New development should preferably have smooth-rendered finish to exterior walls.	No new residences should be introduced to this Zone. Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	Some buildings only have stone to edges, with most having brick dressings.	New development should preferably have smooth-rendered finish to exterior walls, including dressings.	Avoid exposed (non-rendered) dressings for new development.
Openings	All windows and doors are timber with timber-frames. Several of the earliest buildings have casement windows, with later buildings having double-hung sashes. There are also French doors (rectory) and lancets (church & school).	All windows and doors should be timber with timber frames. Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind. Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.	No metal-framed windows. Avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.
Roof forms	Church, school, fr butter factory, Blakiston Hall and some early cottages and outbuildings have gable roofs, with other houses and outbuildings having hipped roofs (The Oaks, Blakiston Hall) or combinations (Dalebank).	Simple gable roofs with similar scale and proportions to existing smaller barns in Zone.	No gablets or finials. Avoid 'federation' decorative features & complex roof structures (eg. combinations of hipped and gabled roofs).
Roof materials	Roofs are corrugated galvanised iron (cgi).	For new development, use 'Heritage' corrugated galvanised iron unpainted or in light to mid grey. Heritage cgi is preferred to Colorbond.	No tiles or tile-profile metal sheeting.
Gutters	Half-round and o-gee gutters.	Where necessary, half-round gutters or small-profile o-gee gutters are most appropriate.	No fascia gutters. Avoid 'D'-gutters.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Verandahs	Verandahs are generally raked with timber posts. Some have continuous raked roofs (Blakiston House, Acorn Cottage). Several buildings also have iron brackets, although in many cases these are not original.	Verandahs with simple non-continuous raked cgi roofs with timber posts and no detailing.	No iron-lace, metal posts, gablets or unsymmetrical verandahs.
Chimneys	There are some stone chimneys, with most being red-brick with coursing near top.	If required, new chimneys should be simple, red-brick, and of similar proportions to early cottages.	Avoid large-scale chimneys.
Street furniture	Simple metal street signs. Lights attached to Stobie poles.	Street-signs should remain as existing. Lighting should be simple. Simple timber benches could be installed on Glebe and near church. Vandal-resistant uplights are recommended for church and school.	Avoid large-scale obtrusive street lights. Avoid ornate styles of interpretative signs, street signs or seating.
Footpaths & verges	Footpaths and verges are grass or gravel with no concrete kerbing or guttering.	Where possible, retain current roadsides to promote the established rural character of Zone.	Avoid using modern brick paving or concrete slabs.
Fencing & gates	Some places have no fencing. Significant fencing types include: <ul style="list-style-type: none"> • hedges (Blakiston House, etc.) • timber-post and rails (The Oaks) • timber posts with wire strands (see glebe land) or mesh. 	Where fencing is required, preferred styles are: <ul style="list-style-type: none"> • hedges • timber posts with wire strand or mesh infill 	Avoid ornate or modern picket-fence styles. Avoid non-corrugated metal sheeting. No bluestone, tubular-steel, cast-iron lace, exposed modern brick or masonry pillars.
Driveways	There are some feature driveways in the zone, especially Blakiston House & The Oaks. These are long gravel drives flanked with avenues of trees. Other driveways are generally gravel or compressed-earth.	Prefer sandstone-coloured gravel or compressed-earth drives.	Avoid modern paving.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Carports, sheds & outbuildings	Outbuildings are separate structures to rear or side of buildings.	New outbuildings should be as unobtrusive as possible. New sheds and carports should be located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street.
Gardens	Several of the gardens in the zone are significant landscape features (see table 4 below). Gardens are generally English in style with flowering plants & European deciduous trees and conifers.	-	Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.
Trees	Significant trees in the Zone are assessed in table 4 below.	Retain and maintain significant trees, especially indigenous eucalypts.	Avoid planting any trees near significant fabric.



Glebe land (T4) – note fence

8.4.5 Landscape character

The landscape and topography of Blakiston are as significant as its outstanding historic buildings, and make a vital contribution to the quality and interpretation of the zone. The features of particular note are described below.

Blakiston HCZ – Table 4 Landscape features within zone

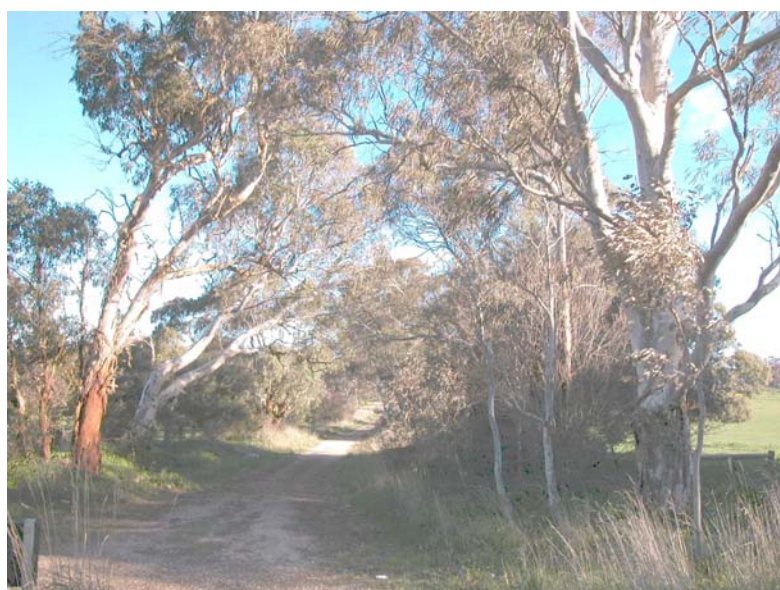
No.	Location	Description	Category	Recommendations
T1	Princes Highway, both sides of road	Hedging alongside former dairy factory and Blakiston House including rows of trees along NW side, and golden cypress hedge to SE.	Significant hedge	<ul style="list-style-type: none"> Where possible, retain and maintain hedge
T2	Blakiston House	Avenue flanking driveway and gardens at Blakiston House including mature European trees.	Landscape / Significant trees	<ul style="list-style-type: none"> Where possible, retain and maintain mature plants
T3	The Oaks, Alston Rd	Mature garden including significant trees along front boundary.	Landscape / Significant trees	<ul style="list-style-type: none"> Where possible, retain and maintain mature plants
T4	Glebe land, Princes Highway	Portion of original Glebe land adjacent to school including open space and significant white gum.	Topography & significant tree	<ul style="list-style-type: none"> Retain as a 'village green' community open space
T5	Hillside including church property, Princes Highway	Hillside rising to NW of Princes Highway on which significant early Blakiston buildings have been located.	Topography	<ul style="list-style-type: none"> Avoid further subdivision of this significant landmark hillside
T6	Treed hillside to rear of church precinct	Backdrop of mature indigenous trees to rear of church precinct.	Significant trees	<ul style="list-style-type: none"> Avoid subdivision and development of this significant landscape. Retain and maintain significant trees.
T7	Roadside scrub adjacent Fulford Tce (closed road)	Indigenous trees and understorey lining early road, significant as one of only examples of uncleared indigenous flora in Blakiston.	Significant bushland	<ul style="list-style-type: none"> Where possible, retain and maintain mature plants



Hedge alongside Princes Highway (T1)



Blakiston House and garden (T2)



Roadside vegetation alongside Fulford Tce (T7)



School and edge of glebe land (T4)



Glebe land including significant tree (T4)



Significant tree on Compson Rd edge of glebe land (T4)

8.4.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Blakiston HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	Glebe land, nr Princes Highway	NW to N	View through church, cemetery & T6 to ridge and backdrop of mature indigenous trees	<ul style="list-style-type: none"> • Avoid subdivision and development of this significant landscape. • Retain and maintain significant trees.
V2	Princes Hwy nr Blakiston Rd	N	View towards distant gum-covered hills	<ul style="list-style-type: none"> • Where possible, avoid subdivision and development of this significant landscape. • Where possible, retain and maintain trees.
V3	St James Cemetery, Princes Highway	NE	View towards Mount Barker Summit including indigenous trees in foreground	<ul style="list-style-type: none"> • Avoid subdivision and development of this significant landscape. • Where possible, revegetate degraded areas with appropriate indigenous species.
V4	Alston Rd	SW	Pastureland with distant row of eucalypts	<ul style="list-style-type: none"> • Where possible, retain and maintain trees.
V5	Princes Hwy, nr school	SW to SE	Panoramic view of pasturelands and low hills with scattered gum trees	<ul style="list-style-type: none"> • Where possible, avoid further subdivision and development of this significant landscape.
V6	fr School, Princes Highway	W	Distant view of gum-covered hills	<ul style="list-style-type: none"> • Where possible, avoid subdivision and development of this significant landscape. • Where possible, retain & maintain trees.



Hedge alongside Princes Highway (T1) with V2 to rear



View NE towards Mount Barker Summit from Blakiston Cemetery (V3)



View across glebe land towards V3



Looking SW from Alston Rd, V4



Looking SW towards significant trees and distant gum-scattered hills (V5)



Looking W along Princes Highway towards gum-covered hills (V6)

8.4.7 Sense of arrival

Blakiston HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Blakiston Rd	from N	fr butter factory	Blakiston Hall	Glebe land
EP2	Princes Highway	from N	entrance to Blakiston House	fr butter factory	school to left and church hill to right
EP3	Princes Highway	from S	Church hill with rectory and church beyond	School and Glebe land	Cottage on cnr Blakiston Rd and hedging along Princes Highway



former rectory at Blakiston (EP3)

8.5 Dawesley Historic (Conservation) Zone

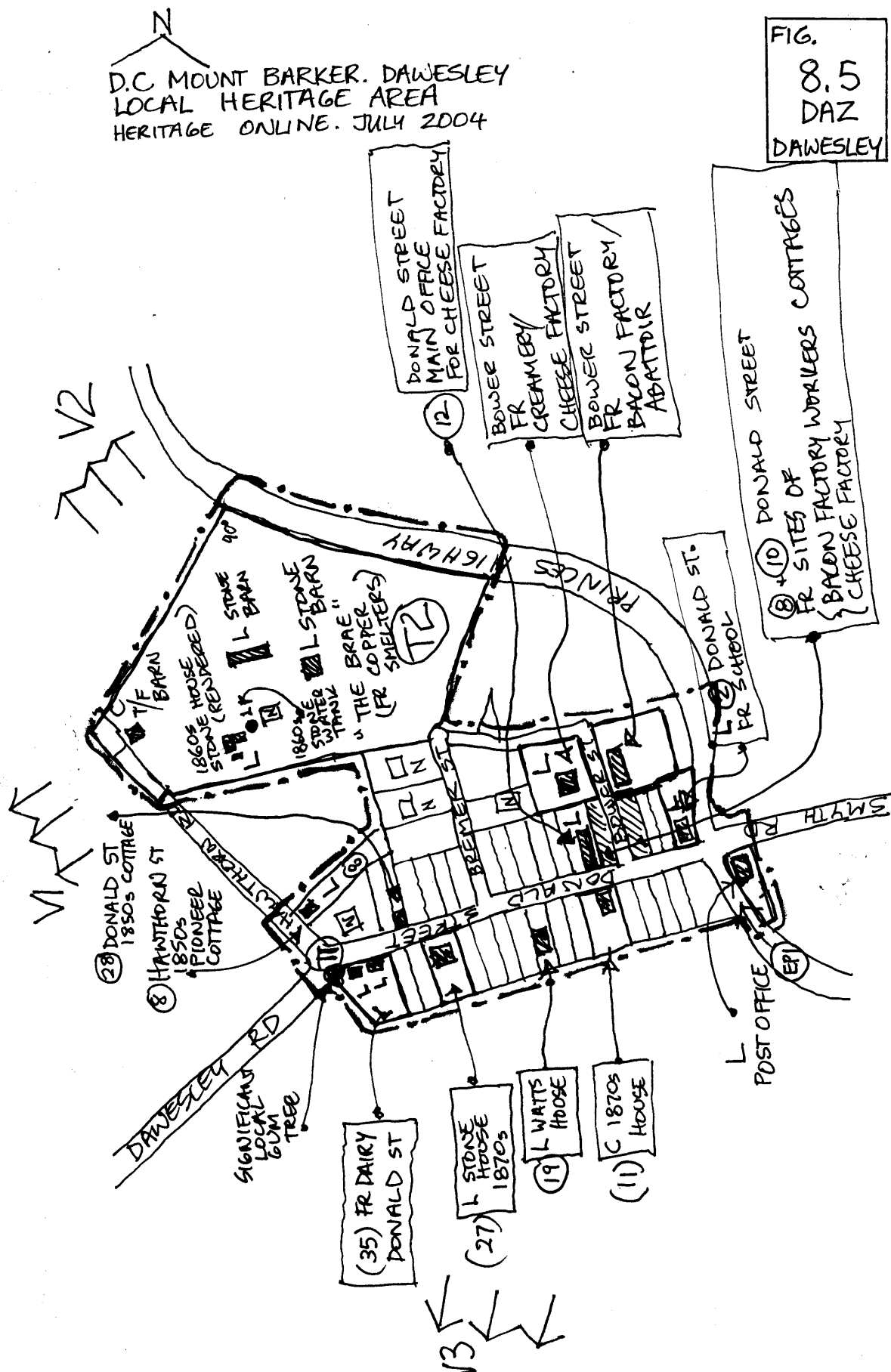
8.5.1 Definition of zone

The proposed zone includes both side of Donald Street, and side street development along Bower Street.

The proposed Historic (Conservation) Zone is defined by figure 8.5 on the following page.



The Brae, former copper smelter with V2 to rear



8.5.2 Historical summary

Dawesley is a small settlement of primarily residential buildings established for workers at the Dawesley copper smelting works, and developed to support several other significant industries.

Dawesley H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Early establishment	Dawesley was laid out by William Bower Dawes, with the first allotments being sold from the District Hotel at Nairne in 1857. Dawesley was established around the smelting works. Later the town also provided services for other industries and surrounding farmers.	<ul style="list-style-type: none"> • Post office • former Creamery • former school
Local industry	Historically, Dawesley was an important industrial town, with several of the districts largest factories located in the town alongside housing for the workers. The first major industry at Dawesley were the smelting works, established in c1855 to process copper ore from the Kanmantoo mines (closed c1885). The town of Dawesley was established to service the smelting works. Subsequent industrial development included a cheese factory/creamery and office, and a bacon factory with adjacent abattoirs. The town also has significant associations with the Watts family who established the significant brickworks on Harrogate Road, near Brukunga. One of the Watts family constructed his residence in Dawesley. Watts' brickworks made fire-bricks used in the smelters as well as bricks for building.	<ul style="list-style-type: none"> • former smelting works, including offices & barns (c1855) • former cheese factory/creamery • former cheese factory office • former bacon factory & abattoirs • Watts' cottage, 19 Donald St
Association with William Dawes	William Bower Dawes laid out the town of Dawesley in 1857. Dawes, who arrived in SA in 1842, also built Nairne's first mill, was an MP for a few months in 1857, and later worked as manager of the Kanmantoo mine. ⁶	<ul style="list-style-type: none"> • Name of township • Bower St name
Residential development	Dawesley comprises a number of workers' cottages on large allotments	<ul style="list-style-type: none"> • cottages along Donald Street • cottage at 8 Hawthorn St
Commercial & community development	The only community/commercial developments in Dawesley were the school and the combined post office & general store. There was also a bakery for a brief period.	<ul style="list-style-type: none"> • former school • post office & general store • former bakery

8.5.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations

⁶ Manning, Geoffrey H 1990, *Manning's Place Names of South Australia*, p 93.

elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Dawesley H(C)Z – Table 2 Significant & contributory places in the zone

	St No	Street	Town	Place name	CT	Pope rec
220		Bower St	Dawesley	former bacon factory	5890-776	L*
221		Bower St	Dawesley	former creamery	5756-241	L
222		Bremer St	Dawesley	The Brae, fr copper smelters - house, barns & stone tank	5817-660	L*
223	2	Donald St	Dawesley	former Dawesley School	5305-371	L
224	8	Donald St	Dawesley	site of fr worker's cottage		X
225	10	Donald St	Dawesley	site of fr worker's cottage		X
226	(11)	Donald St	Dawesley	Cottage (stone, c1880s)		C
227	12	Donald St	Dawesley	House, fr cheese factory office	5187-30	L
228	19	Donald St	Dawesley	fr Watts Cottage & bakery	5745-200	L
229	(27)	Donald St	Dawesley	House		C
230	28	Donald St	Dawesley	Cottage (rendered, c1850s)		C
231	(35)	Donald St	Dawesley	House, dairy & gum tree	5402-352 5402-353	L
232	8	Hawthorn St	Dawesley	Cottage	5786-341	L
233		Princes Hwy	Dawesley	post office & residence, cnr Smyth Rd	5802-056	L

8.5.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;
- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.5.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.5.4 Definition of zone character & recommendations for new development

The typical characteristics of the significant and contributory places in the zone, as well as the corresponding desirable and non-desirable features of new development within the zone, are summarised in table 3.

Dawesley HCZ – Table 3 Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	The 19 th -century subdivision of Dawesley includes some vacant blocks.	Current allotments within the Zone should not be further subdivided.	Avoid further subdivision within the Zone
Building types, scale & massing	There are two main types of development in the zone, industrial and residential. There is also one former school and a post office. All historic industrial buildings are now use as residences or domestic outbuildings. The largest-scale buildings are the former smelter buildings and the former bacon factory, both being relatively small-scale examples of their type. Apart from the residence attached to the post office, all residences are relatively small-scale freestanding cottages.	New developments and additions should be unobtrusive with a neutral visual effect. Residential development should comprise single-storey small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid large-scale development, joined units and attached development.
Setbacks	Apart from the road-side post office, all residences and former industrial buildings are set back from street behind front gardens.	New development should have similar setbacks to neighbouring significant or contributory buildings.	Avoid new development adjacent to street.
Typical residential styles	The majority of significant residential development in the Zone is mid-to-late 19 th -century with simple Colonial styling. Residences are generally free-standing symmetrical cottages. There are no significant Federation residences in the Zone.	Free-standing single-storey small houses with simple detailing and proportions are preferable.	Avoid 2-storied or more. Avoid 'High Victorian' or 'Federation' design or detailing. Avoid pastiche.
Wall structure	The majority of significant and contributory buildings are constructed of local stone or slag, or locally-manufactured bricks.	Where possible, new development should be smooth-rendered.	Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	The earliest buildings have stone dressings, with later buildings having brick dressings, some rendered.	Render to walls should cover dressings and painted a darker colour than walls (see existing buildings below).	Avoid exposed (non-rendered) dressings for new development.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Openings	<p>All windows and doors are timber with timber-frames.</p> <p>The majority of buildings in the zone have casement windows (some multi-paned), with several having double-hung sash windows.</p>	<p>All windows and doors should be timber with timber frames.</p> <p>Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind.</p> <p>Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.</p>	<p>No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.</p>
Roof forms	<p>Cottages generally have hipped roofs, with some buildings, especially industrial sheds and outbuildings, having gable roofs. Additions to rear generally have skillion roofs.</p>	<p>Simple gable roofs with similar scale and proportions to existing residential development in Zone.</p>	<p>No gablets, finials, 'federation' decorative features or complex roof structures (eg. combinations of hipped and gabled roofs).</p>
Roof materials	<p>The main roofing material in the zone is corrugated galvanised iron (cgi).</p>	<p>'Heritage' corrugated galvanised iron unpainted or in light to mid grey. Heritage cgi is preferred to Colorbond.</p>	<p>No tiles or tile-profile metal sheeting.</p>
Gutters	<p>O-gee and half-round gutters.</p>	<p>Half-round gutters or small-profile o-gee gutters.</p>	<p>No fascia gutters.</p> <p>Where possible, avoid 'D-gutters'</p> <p>Avoid large-profile o-gee gutters on verandahs and small-scale cottages.</p>
Verandahs	<p>Verandahs are generally raked, with some bull-nose examples. Good examples of verandahs have timber posts with no detailing.</p>	<p>Verandahs with simple, non-continuous raked or concave cgi roofs with timber posts and no detailing.</p>	<p>No iron-lace, metal posts or gablets.</p> <p>Avoid unsymmetrical verandahs.</p>
Chimneys	<p>Most chimneys are red-brick with coursing near top.</p>	<p>If required, chimneys should be simple, rendered, and of similar proportions to early cottages.</p>	<p>Avoid large-scale chimneys.</p>
Street furniture	<p>Simple metal street signs.</p> <p>Street lights are unobtrusive late c20 functional lights attached to Stobie-poles.</p>	<p>Street-signs and simple functional lighting should remain as existing.</p> <p>Public seating should be simple timber benches.</p>	<p>Avoid large-scale obtrusive street lights.</p> <p>Avoid ornate styles of interpretative signs, street signs or seating.</p>

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Footpaths & verges	Footpaths and verges are generally bitumen, gravel or grass with some concrete kerbing and guttering.	Where possible, retain the current roadside treatments.	Avoid using modern brick paving and concrete slabs.
Fencing & gates	<p>Fencing in Dawesley is relatively unobtrusive. Some places have no fencing, while in other cases, fencing is minimal and low. The buildings relate well to the street and to each other.</p> <p>The main forms of contributory fencing in the zone are:</p> <ul style="list-style-type: none"> • timber post and wire • metal cyclone-mesh • low hedges 	<p>Where possible, all fencing facing onto street should be minimal and low.</p> <p>Where fencing is required, preferred styles are:</p> <ul style="list-style-type: none"> • timber posts with wire mesh infill • low hedges <p>Preferred fencing for rear and side boundaries is hedges or cyclone mesh / post & wire fencing. If using metal, prefer corrugated-galvanised iron (not other-profile metal sheeting).</p>	<p>Avoid ornate or modern picket-fence styles.</p> <p>No bluestone, tubular-steel, cast-iron lace, exposed modern brick, masonry pillars or brush fences.</p>
Driveways	Driveways are generally gravel or compressed-earth.	Prefer gravel or compressed-earth drives. Gravel should preferably be sand-stone-coloured.	Avoid modern paving.
Carports, sheds & outbuildings	There are few existing garages or carports in the Zone and all outbuildings are towards the rear.	New outbuildings should be as unobtrusive as possible. Sheds and carports should be located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street.
Gardens	Most front gardens have lawns with shrubs & small trees.	–	<p>Avoid plants and structures which break the dialogue between significant / contributory buildings and street.</p> <p>Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.</p>

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Trees	Significant trees in the Zone are assessed in table 4 below.	Existing remnant gums and indigenous plants should be retained where possible, unless they pose a threat to the safety of people or significant fabric. Prefer indigenous species for new plantings.	Avoid planting any trees near significant fabric.
Other features of zone	The valley in which the copper smelters sit is a significant open space and topographical feature of the zone (see table 4 below).		Avoid subdivision of this key historic and environmental feature of Dawesley



fr bacon factory – note stone and brickwork



View of fr bacon factory



detail of former creamery – note stone & brickwork



Workers' Cottage, 18 Donald St



former cheese factory office at 12 Donald St



Cottage at 19 Donald St



Detail of cottage at 19 Donald St – note detailing to windows



Dairy at (35) Donald St – note stonework



Cottage at 8 Hawthorn Street

8.5.5 Landscape character

Dawesley HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Donald St / Dawesley Road	Significant gum tree in front of house & fr dairy, c35 Donald St	Significant tree	<ul style="list-style-type: none"> • Retain and maintain tree
T2	The Brae, Bremer St / Princes Hwy	The former smelting works property comprises a significant landscaped open space	Topographic & landscape	<ul style="list-style-type: none"> • Avoid subdivision of this key historic and environmental feature of zone.

8.5.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Dawesley HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	Hawthorn Rd	NW	View towards Brukunga mine including hill including scattered gums.	<ul style="list-style-type: none"> • Retain and maintain existing mature indigenous trees • Where possible, revegetate degraded areas with appropriate indigenous species.
V2	Hawthorn Rd, The Brae, Bower St & Bremer St	N to NE	View to hillside with backdrop of mature indigenous trees.	<ul style="list-style-type: none"> • Retain and maintain significant landscape. • Where possible, revegetate degraded areas with appropriate indigenous species.
V3	19-(35) Donald St	WNW	Ridge with backdrop of mature indigenous trees.	<ul style="list-style-type: none"> • Retain and maintain significant trees



View beyond the Brae (V2)



Cottage, (35) Donald St with V3 behind



27 Donald Street with V3 behind

8.5.7 Sense of arrival

Dawesley HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Princes Highway	from S	Entrance to Donald Street	fr Post Office	former school



Dawesley post office, Princes Highway (EP1)

8.6 Echunga Historic (Conservation) Zone

8.6.1 Definition of zone

The proposed zone centres around the Adelaide Road and includes part of High & Marianna Streets.

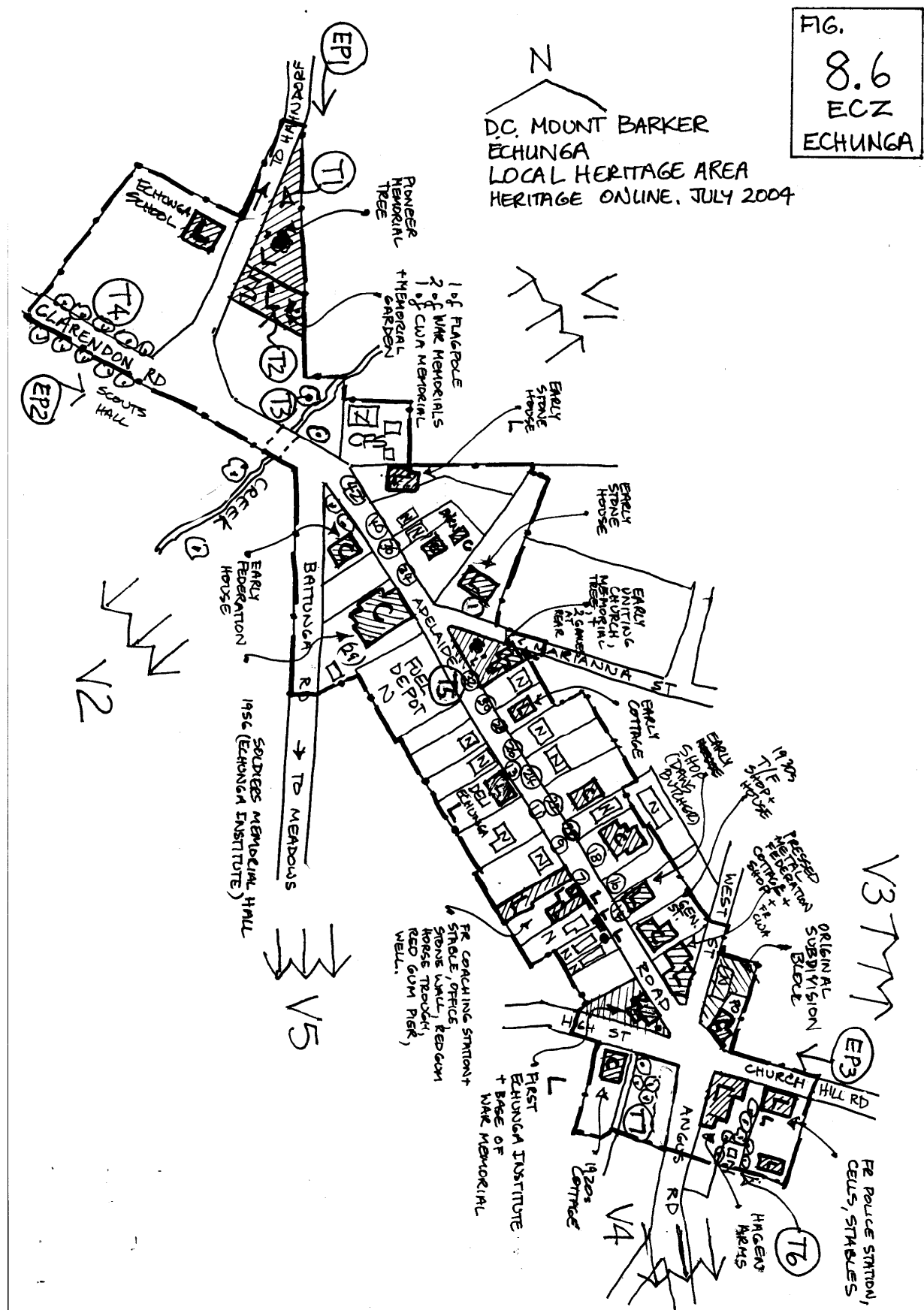
The proposed Historic (Conservation) Zone is defined by figure 8.6 on the following page.



Adelaide Rd, looking SE towards hotel



fr police station



8.6.2 Historical summary

In 1847, Jacob Hagen was granted sections 3876 & 3879 in the hundred of Kuitpo. In 1849, he subdivided part of his land to create the township of Echunga. The name was derived from the local Aboriginal word meaning 'near' or 'wood'.



Original town plan of Echunga
Whimpress, Jack 1975, *Echunga 1839 – 1939*, p 159



Adelaide Road, Echunga, 1933, showing Hagen Arms to left & Institute to right
Courtesy of the Mortlock Library of South Australia, B1509



Adelaide Road, Echunga, 1933, looking south from Deli Whimpress, Jack 1975, Echunga 1839 – 1939, p 152



Adelaide Road, Echunga, 1933, showing Hagen Arms to left & Institute to right Whimpress, Jack 1975, Echunga 1839 – 1939, p 152

Echunga H(C)Z – Table 1

Significant historical themes & features

Theme	Description	Significant places associated with theme
Early establishment	Joseph Hagen founded the town of Echunga in 1849.	<ul style="list-style-type: none"> • Well & windlass (1852) • Daw's butcher shop (1853) • Wesleyan cemetery (1856) • Gate pier, trough & well (1857) • Hagen Arms Hotel (1858,1928) • fr Coaching Station (c1860) • Hitching post (c1860s) • Mid C19 cottages along Adelaide Rd
Joseph Hagen	Joseph Hagen was a significant pioneering landowner in this area, who was granted sections 3876 & 3879 in 1847, and subdivided part of his land to form the town of Echunga in 1849.	<ul style="list-style-type: none"> • Town plan (c1849) • Hagen Arms Hotel (1858,1928)
Early development	Many important buildings and places survive from Echunga's first few decades.	<ul style="list-style-type: none"> • Well & windlass (1852) • Daw's butcher shop (1853) • Wesleyan cemetery (1856) • Gate pier, trough & well (1857) • Hagen Arms Hotel (1858,1928) • fr Coaching Station (c1860) • Hitching post (c1860s) • Mid C19 cottages along Adelaide Rd • Police station & cells (1874)

Theme	Description	Significant places associated with theme
		<ul style="list-style-type: none"> Echunga Uniting Church (1884)
Commercial development	Echunga provided services for the surrounding farming district, thus there were a number of early shops and businesses along Adelaide Rd. The first post office was opened in 1850, only a year after the town's establishment.	<ul style="list-style-type: none"> Daw's butcher shop (1853) Hagen Arms Hotel (1858,1928) fr Coaching Station (c1860)
Education and religious development	Several important local churches were located at Echunga, including the Anglican church & cemetery on a hill overlooking the town (1850 – outside zone), and a Methodist chapel and cemetery on the main road through the town (1856, current building 1884). The first school was constructed near the church in 1862 (outside zone). The current school near the creek was established in xxx.	<ul style="list-style-type: none"> site of 1856 cemetery (1856) Echunga Uniting Church (1884) Echunga Primary School (xx)

8.6.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Echunga H(C)Z – Table 2

Significant & contributory places in the zone

	St No	Street	Town	Place name	CT	Pope rec
249	1	Adelaide Rd (cr High)	Echunga	former Institute	5894-249	L
250	(2)	Adelaide Rd	Echunga	Post office		C
251	3-5	Adelaide Rd	Echunga	Gate pier, trough & well	5469-909 5469-910 5469-911	L
252	(6)	Adelaide Rd	Echunga	Shop & residence	5309-313	L
253	7	Adelaide Rd	Echunga	fr Coaching Station	5107-285	L*
254	(10)	Adelaide Rd	Echunga	General store		C
255	13	Adelaide Rd	Echunga	Echunga Deli	5231-502	L
256	14	Adelaide Rd	Echunga	fr Daws' Butcher shop & hitching post	5503-88	L*
257	18	Adelaide Rd	Echunga	House		C
258	22	Adelaide Rd	Echunga	Cottage		C
259	26	Adelaide Rd	Echunga	Settlers Cottage		C
260	(29)	Adelaide Rd (nr cr Battunga Rd)	Echunga	Soldiers' Memorial Institute		C
261	32	Adelaide Rd	Echunga	Echunga Uniting Church & graves, fr New Church	4255-215	L
262	34	Adelaide Rd	Echunga	House & barn		C
263	(35)	Adelaide Rd (cr	Echunga	House (federation)	?981-156	C

	St No	Street	Town	Place name	CT	Pope rec
		Battunga Rd)				
264	42	Adelaide Rd	Echunga	House	5120-839	L
266	(56)	Adelaide Rd (Hahndorf Rd)	Echunga	Echunga Primary School	CR 5758-34	L
267		Angus Rd (cr Church Hill Rd)	Echunga	Hagen Arms Hotel	4303-106	L
269		High St	Echunga	House (c1920s)		C
274		High St (Church Hill Rd)	Echunga	former Police Station, cells & stables	4268-603	L*
277	1	Marianna St	Echunga	House		L
280		Mylor / Hahndorf Rds cnr	Echunga	War Memorial Garden inc. memorials & pioneer memorial tree		C

8.6.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;
- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.6.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.6.4 Definition of zone character & recommendations for new development

Table 3 summarises the typical characteristics of the significant and contributory places in the zone, as well as the corresponding appropriate and inappropriate features for new development within the zone.

Echunga HCZ – Table 3 Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	The proposed Zone includes the Main Road section of the original township of Echunga, as well as the creek crossing and public lands which have been added at the northern end of the town.	Original allotments within the Zone should be preserved and not further subdivided. Where possible, new development should be in existing original allotments outside of the proposed Zone.	Avoid further subdivision of original 19 th -century allotments. Avoid development adjacent to creek.
Building types, scale & massing	Echunga is a small cross-roads rural town having all commercial and most community buildings along its main street. Physically, the main street is dominated by the former 1956 Soldiers' Memorial Hall near the northern entrance and the Hagen Arms Hotel at the opposite crossroad. Buildings between these two prominent landmarks are single-storey and a mixture of commercial and residential development. There is also a church and an institute building along the main street, and a prominent police station on the hill overlooking the High Street.	Located at a historically-significant crossroads, Echunga was an important commercial centre which still contains a relatively large proportion of buildings which were originally used for commercial or community purposes. We strongly recommend that any additional commercial or community development within the proposed Zone should recycle existing commercial/community buildings, rather than construct new ones. New developments and additions should be unobtrusive with a neutral visual effect. Residential development should comprise single-storey small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid large-scale commercial and industrial development. Avoid new development adjacent to creek. Avoid large-scale residential development and large-size buildings. Avoid joined units and attached development.
Setbacks	Except for the former Daw's shop, all shops and former shops are located adjacent to pavement. Community buildings and the Soldiers' Memorial Institute are set back slightly, usually by the width of verandahs and porches. Residential development is set back behind a front garden.	New development should be set back further than existing significant (local or State) places. Infill development adjacent contributory buildings should have the same or greater set back as neighbouring contributory development.	Avoid uniform setbacks when introducing new groups of houses. Avoid development adjacent to river.
Typical residential styles	The most important residential development in the Zone is mid to late 19 th -century with simple Colonial styling. Residences are either free-standing cottages or residences attached to commercial buildings. There are no significant 'High Victorian' or Federation residences in the Zone.	Free-standing single-storey small houses with simple detailing and proportions are preferable.	Avoid 2-storied or more. Avoid High Victorian or Federation detailing, or other elements of pastiche.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Wall structure	<p>The majority of significant and contributory buildings are constructed of local stone (some rendered).</p> <p>There are also several timber-framed buildings, most with cgi cladding and some with smooth finish.</p>	<p>We recommend new development within the Zone be timber-framed with cgi cladding.</p> <p>New masonry development should have smooth-rendered finish to exterior walls.</p>	Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	A few significant buildings (such as police complex, fr butchers' shop and coach station) have stone dressings. Most masonry buildings have brick dressings.	For masonry buildings, render to walls should cover dressings.	Avoid exposed (non-rendered) dressings on masonry buildings.
Openings	<p>All windows and doors are timber with timber-frames.</p> <p>Most places have double-hung sash windows, with some fixed shop windows. The Uniting Church has lancet windows.</p>	<p>All windows and doors should be timber with timber frames.</p> <p>Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind.</p> <p>Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.</p>	No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.
Roof forms	The church and some early shops have gable roofs, with most early commercial and residential buildings having hipped roofs. Additions to rear generally have skillion roofs. A significant roof form is the round roof on the former coach station.	Simple gable roofs with similar scale and proportions to existing comparable building types is most appropriate.	<p>No gablets or finials.</p> <p>Avoid 'federation' decorative features.</p> <p>Avoid complex roof structures (eg. combinations of hipped and gabled roofs).</p>
Roof materials	Corrugated galvanised iron (cgi)	<p>'Heritage' corrugated galvanised iron unpainted or in light to mid grey.</p> <p>Heritage cgi is preferred to Colorbond.</p>	No tiles or tile-profile metal sheeting.
Gutters	O-gee and half-round gutters	Half-round gutters or small-profile o-gee gutters.	<p>No fascia gutters or 'D-gutters'</p> <p>Avoid large-profile o-gee gutters on verandahs and small-scale cottages.</p>

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Verandahs	Most verandahs are raked, with some concave examples. Some later contributory buildings have bull-nose verandahs. Good examples of verandahs have timber posts with no detailing.	Verandahs with simple non-continuous raked cgi roofs with timber posts and no detailing.	No iron-lace or metal posts. Avoid unsymmetrical verandahs. Avoid gablets.
Chimneys	Typical chimneys are constructed of red-brick, most with coursing to top. Some are painted.	If required, new chimneys should be simple, rendered, and of similar proportions to early cottages.	Avoid large-scale chimneys.
Street furniture	Simple metal street signs. Street lights are unobtrusive late c20 functional lights attached to Stobie-poles.	Street-signs and simple functional lighting should remain as existing. Lighting of significant buildings, such as coach station, hotel, church & police station would be appropriate. Public seating should be simple timber benches.	Avoid large-scale obtrusive street lights. Avoid ornate styles of interpretative signs, street signs or seating.
Footpaths & verges	Footpaths along Adelaide Road are bitumen, with grass and gravel in side streets. Roads have concrete kerbing and guttering.	Where possible, retain the simple, rural character of roadsides. Where necessary, the use of concrete kerbing and guttering, and bitumen paths is preferable to more urban use of paving and concrete slabs.	Avoid using modern brick paving.
Fencing & gates	Historically, fencing in Meadows has been relatively unobtrusive. Many places in the Zone have no fencing, especially along the main street. In other cases, fencing is minimal and low. The buildings relate well to the street and to each other. The main forms of contributory fencing in the zone are: <ul style="list-style-type: none"> • timber post with timber or metal rails (church) • timber post and wire • low walls • simple picket fences* *19 th -century picket fences were simple with flat or triangular-topped pickets of equal heights.	Where possible, all fencing facing onto street should be minimal and low. Where fencing is required, preferred styles are: <ul style="list-style-type: none"> • timber post & rail (see photo of former school below) • timber posts with wire mesh infill or metal timber rails (see photo of church garden below) • low hedges • simple pickets Preferred fencing for rear and side boundaries should be corrugated-galvanised iron (not other-profile metal sheeting).	Avoid ornate or modern picket-fence styles. No bluestone, tubular-steel, cast-iron lace, exposed modern brick, masonry pillars or brush fences.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Driveways	There are few driveways within the Zone. Existing driveways are generally gravel or bitumen	Prefer gravel or bitumen drives. Gravel should preferably be sand-stone-coloured.	Avoid red gravel, & modern paving.
Carports, sheds & outbuildings	There are few existing garages or carports in the Zone and all outbuildings are towards the rear.	New outbuildings should be as unobtrusive as possible. Sheds and carports should be located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street.
Gardens	Most gardens have lawns with shrubs & trees.	Garden beds which adjoin significant fabric should be removed away from the fabric of significant buildings, especially at the former coach station (7 Adelaide Road). Remove plastic from around gate pier at 5 Adelaide Road.	Avoid plants and structures which break the dialogue between significant / contributory buildings and street. Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.
Trees	Significant trees in the Zone are generally located adjacent to creek, and are assessed in table 4 below. Existing street trees are highly appropriate for town.	Existing remnant gums and indigenous plants should be retained where possible, unless they pose a threat to the safety of people or significant fabric. Where possible, retain existing street trees and add more flowering fruit trees.	Avoid planting any trees near significant fabric.



former coaching station & stables, 7 Adelaide Rd, note roof forms and stonework



Adelaide Rd - front of Uniting Church showing fencing and pavements



Good example of post & rail fencing outside former school, Church Hill Rd (outside zone)

8.6.5 Landscape character

Echunga HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Hahndorf Rd	Pioneer memorial tree	Significant tree	<ul style="list-style-type: none"> • Retain and maintain tree
T2	Hahndorf Rd	War memorial garden including deciduous trees, conifers, shrubs and landscaping	Landscape	<ul style="list-style-type: none"> • Retain and maintain landscape
T3	Echunga Creek	Creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek including mature gum trees	Topography, landscape & significant trees	<ul style="list-style-type: none"> • Retain and maintain mature indigenous trees • Maintain creek area including removal of weeds & debris, and monitoring of pollution • Where possible, revegetate along creek with appropriate species
T4	Clarendon Rd	Avenue of mature gum trees	Significant trees	<ul style="list-style-type: none"> • Retain and maintain avenue
T5	32 Adelaide Rd	Memorial garden at Echunga Uniting Church	Landscape	<ul style="list-style-type: none"> • Where possible, retain and maintain garden
T6	Hagen Arms Hotel, Angas Rd	Mature trees forming backdrop to Hagen Arms Hotel	Significant trees	<ul style="list-style-type: none"> • Retain and maintain trees
T7	High St / Angas Rd	Vacant block with gum trees	Topography & landscape	<ul style="list-style-type: none"> • Retain block as community reserve



Hagen Arms Inn showing mature trees to rear (T6)



War Memorial gardens (T2)



North end of Adelaide Rd, looking NW towards creek (T3)



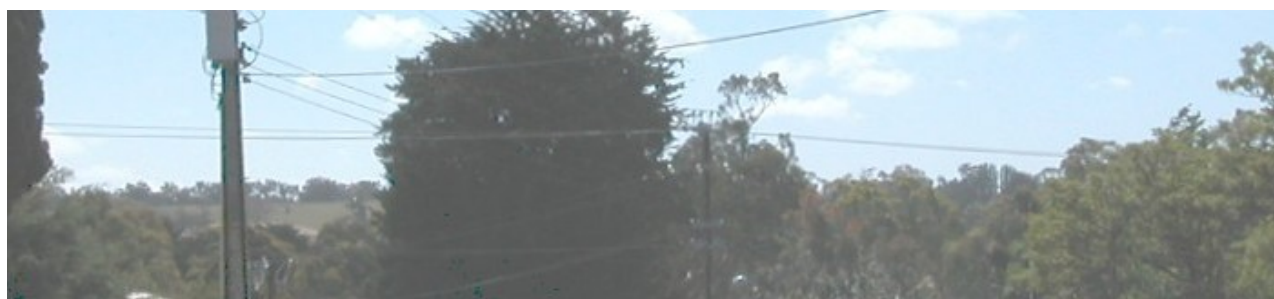
Looking along Hahndorf Rd with T1 to LHS and T4 in distance

8.6.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Echunga HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1 & V2	Bridge over creek	NE & SW	View of creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek including mature gum trees	<ul style="list-style-type: none"> • Retain and maintain mature indigenous trees • Maintain creek area including removal of weeds & debris, and monitoring of pollution • Where possible, revegetate along creek with appropriate species
V3	Church Hill Rd, nr police station	E	View up Church Hill Rd towards Anglican church precinct, including distant gums	<ul style="list-style-type: none"> • Where possible, retain and maintain mature trees.
V4	Angus Rd	S	View of rolling pasture with scattered eucalypts	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees • Avoid subdivision and development of hill-face
V5	Church Hill Rd	W	View of distant ridge with mature eucalypts	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees • Avoid subdivision and development of ridge
V6	Battunga Rd	S	View along road flanked by mature indigenous eucalypts	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees
V7	Clarendon Rd	NW	View along significant avenue of mature gums (see T4)	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees
V8	Hahndorf Rd	N	View past mature trees to groups of mature eucalypts	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees
V9	Church Hill Rd	W	View of distant mountain with mature eucalypts to foreground	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees



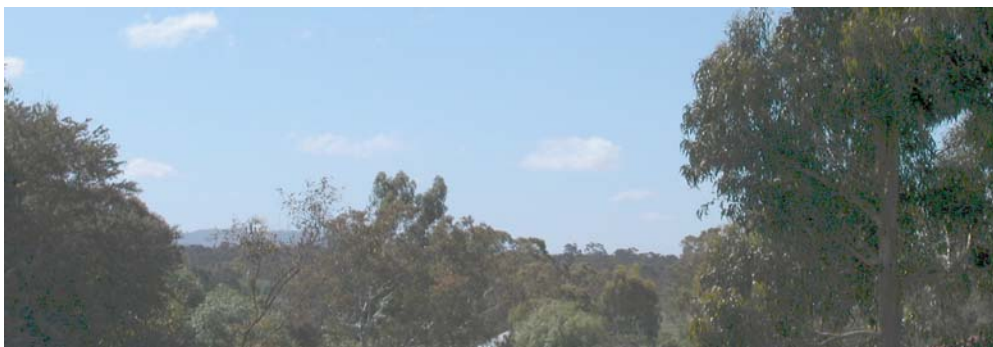
Looking W from Church Hill Road (V5)



Looking from school towards creek-course (V1)



Looking N along Hahndorf Rd (V8)



View from Church Hill Rd, looking west (V9)

8.6.7 Sense of arrival

The significant entry points are described in the following table.

Echunga HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Hahndorf Rd	from N	Pioneer memorial tree	Echunga Primary School	Row of gum trees
EP2	Clarendon Rd	from NW	Row of gum and Echunga Primary School	Row of gums and river crossing	House at 40 Adelaide Rd
EP3	Church Hill Rd	from S	Police station and cells	Post office	Buildings at E end of Adelaide Rd
EP4	Angus Rd	from SE	Treed allotment	Hagen Arms Hotel	Post office and buildings at S end of Adelaide Rd



Entrance to Echunga, N end of Adelaide Rd (EP1)



Entrance to Adelaide Rd (N end) (EP1&2)

8.7 Harrogate Historic (Conservation) Zone

8.7.1 Definition of zone

Harrogate is a small settlement centred around the bridge where the Harrogate Road crosses the Bremer River, and including the former church and post office on adjacent side streets.

The proposed Historic (Conservation) Zone is defined by figure 8.7 on the following page.



former stables to rear fr PO, 32 Mail Rd – note stonework

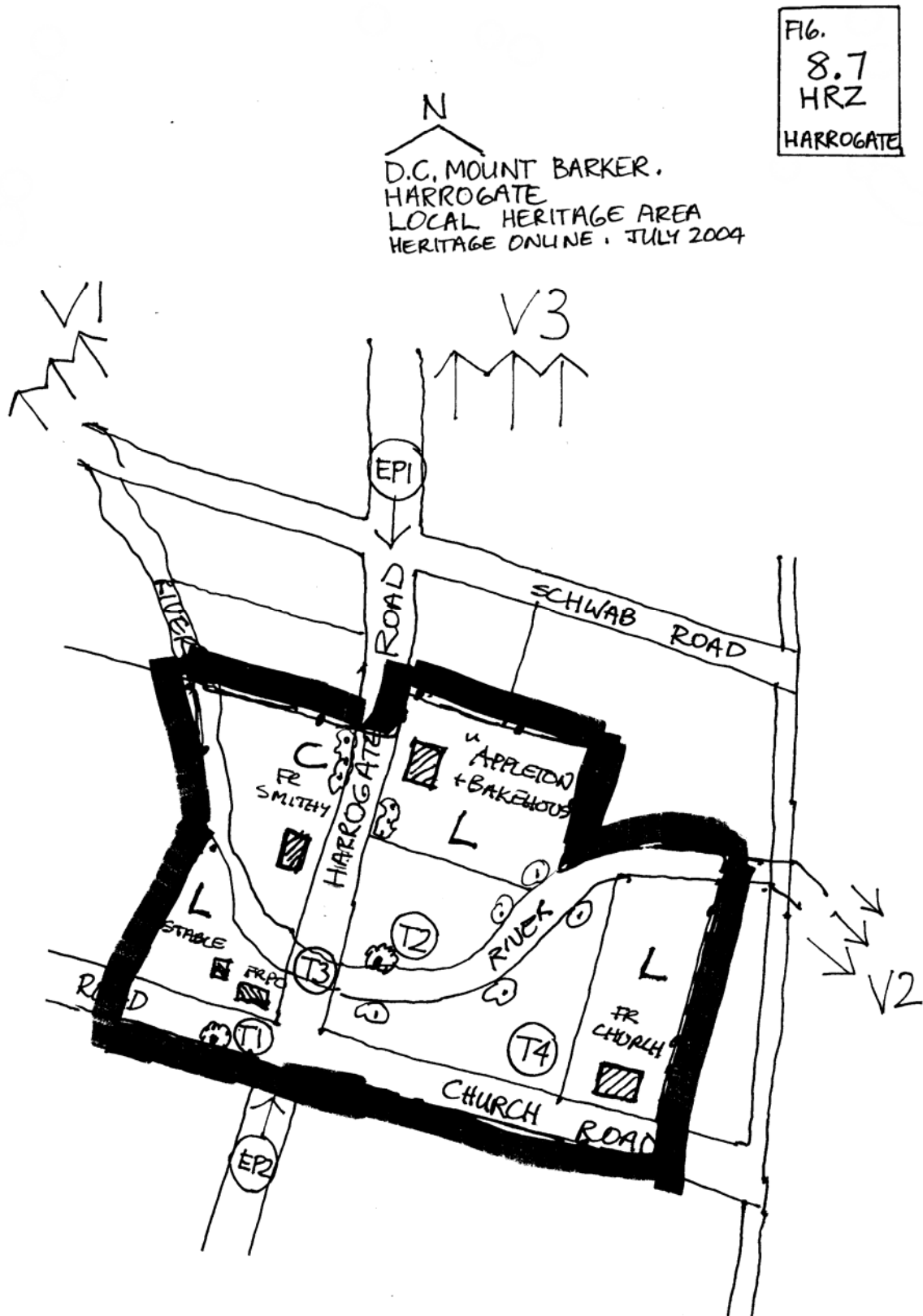


Figure 8.7 proposed Harrogate Historic (Conservation) Zone

8.7.2 Historical summary

The small settlement of Harrogate lies in a sparsely populated rural district between Woodside and Kanmantoo, and is itself a sparsely populated service town comprising residences and a community hall. Originally, there was also a post office and store, a smithy, and a chapel all clustered around the point where the main road crosses the river.

Harrogate H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Establishment & early development	The town of Harrogate was established in 1858 when the Honourable John Baker subdivided part of his section 1789. ⁷ The buildings in the small zone all date from the first decade of the town.	<ul style="list-style-type: none"> • former Bible Christian chapel (c1850s) • former post office & store (1850s) • former smithy (c1850s) • Applegate Cottage (c1850s)
Commercial & community development	Although small, Harrogate supported a number of commercial and community buildings, with the former Bible Christian chapel, the former post office & store and the former smithy & stable being located at the crossroads and within the zone, and the early village hall being located at the other end of Mail Road. The post office was the central commercial building in the town, operating from 1861 until 1974. The chapel was the only Bible Christian chapel to be constructed in the Mount Barker district.	<ul style="list-style-type: none"> • former Bible Christian chapel (c1850s) • former post office & store (1861) • former smithy (c1850s)

8.7.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Harrogate H(C)Z – Table 2 Significant & contributory places in the zone

	St No	Street	Town	Place name	CT	Pope rec
543		Church Rd	Harrogate	House, former Bible Christian Chapel	5067-925	L
545		Harrogate Rd	Harrogate	Appleton Cottage (including bakehouse)	5810-405	L
546		Harrogate Rd	Harrogate	House, former smithy & stable		C
549	32	Mail Rd	Harrogate	Bremer Cottage (former post office & residence) & stable	5221-979	L
550		Mail Rd	Harrogate	mature tree opposite fr PO		C

⁷ Manning, Geoffrey H 1990, *Manning's Place Names of South Australia*, p 142.

8.7.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;
- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.7.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.7.4 Definition of zone character & recommendations for new development

Table 3 summarises the typical characteristics of the significant and contributory places in the zone, as well as the corresponding appropriate and inappropriate features for new development within the zone.

Harrogate HCZ – Table 3 *Character assessment & analysis*

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	The proposed Zone is a tight group of allotments comprising the core of the settlement which is grouped around the early river crossing.	Current allotments within the Zone should be preserved and not further subdivided.	Avoid further subdivision of current allotments. Avoid development adjacent to river.
Building types, scale & massing	This is a small zone within a small settlement. Except for the moderately-sized former chapel, the four other significant / contributory buildings are all of a relatively small scale.	New developments and additions should be unobtrusive with a neutral visual effect. Residential development should comprise single-storey small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid large-scale commercial and industrial development. Avoid new development adjacent to river. Avoid large-scale residential development and large-size buildings. Avoid joined units and attached development.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Setbacks	Apart from the stables, S&C buildings are located close to the street.	New development should be set back further than neighbouring significant or contributory places.	Avoid uniform setbacks when introducing new groups of houses. Avoid development adjacent to river.
Typical residential styles	The two purpose-built residences are mid-19 th -century with simple Colonial styling. The post office residence is attached to the shop, with Appleton Cottage being a free-standing residence with bake-oven. There are no significant 'High Victorian' or Federation residences in the Zone.	Free-standing single-storey small houses with simple detailing and proportions are preferable.	Avoid 2-storied or more. Avoid High Victorian or Federation detailing, or other elements of pastiche.
Wall structure	The main building material is local stone, with the former chapel having shaped stone voussoirs.	New masonry development should have smooth-rendered finish to exterior walls.	Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	Buildings have stone or rendered dressings.	For masonry buildings, render to walls should cover dressings.	Avoid exposed (non-rendered) dressings on masonry buildings.
Openings	All windows and doors are timber with timber-frames. Windows are generally double-hung sashes or casements. The former chapel has rectangular windows with flat arches.	All windows and doors should be timber with timber frames. Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind. Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.	No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.
Roof forms	The church, stable & smithy have gable roofs, with residences having hipped roofs. Additions to rear generally have skillion roofs.	Simple gable roofs with similar scale and proportions to existing comparable building types is most appropriate.	Avoid gablets, finials, 'federation' decorative features & complex roof structures (eg. combinations of hipped and gabled roofs).
Roof materials	Corrugated galvanised iron (cgi)	'Heritage' corrugated galvanised iron unpainted or in light to mid grey. Heritage cgi is preferred to Colorbond.	No tiles or tile-profile metal sheeting.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Gutters	O-gee and half-round gutters	Half-round gutters or small-profile o-gee gutters.	No fascia gutters. Avoid 'D-gutters' for new development. Avoid large-profile o-gee gutters on verandahs and small-scale cottages.
Verandahs	Verandahs are raked with timber posts with no detailing.	Verandahs with simple non-continuous raked cgi roofs with timber posts and no detailing.	No iron-lace or metal posts. Avoid unsymmetrical verandahs & gablets.
Chimneys	Chimneys are constructed of red-brick with coursing to top.	If required, new chimneys should be simple, rendered, and of similar proportions to early cottages.	Avoid large-scale chimneys.
Street furniture	Simple metal street signs.	Street-signs should remain as existing. Where required, prefer simple functional street lights. Lighting of significant tree adjacent to river / bridge would be appropriate. Public seating should be simple timber benches.	Avoid large-scale obtrusive street lights. Avoid ornate styles of interpretative signs, street signs or seating.
Footpaths & verges	Footpaths and verges are gravel or grass with no concrete kerbing and guttering.	Where possible, retain the simple, rural character of roadsides.	Avoid using modern brick paving & concrete slabs.
Fencing & gates	Fencing is generally minimal and low. The buildings relate well to the street and to each other. The main forms of contributory fencing in the zone are: <ul style="list-style-type: none"> • timber post and wire (church) • timber post and rail (C20, Appleton) • low wall (smithy) • simple picket fences* (fr PO) • metal post & wire (Appleton) *19 th -century picket fences were simple with flat or triangular-topped pickets of equal heights.	Where possible, all fencing facing onto street should be minimal and low. Where fencing is required, preferred styles are: <ul style="list-style-type: none"> • timber post & rail (Appleton) or post and wire strand or mesh • low hedges • simple pickets Preferred fencing for rear and side boundaries should be wire (creeper-covered) or hedges.	Avoid ornate or modern picket-fence styles. No bluestone, tubular-steel, cast-iron lace, exposed modern brick, masonry pillars or brush fences. Avoid non corrugated metal sheeting.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Driveways	Gravel.	Prefer gravel or earth / grass drives. Gravel should preferably be sand-stone-coloured.	Avoid red gravel, & modern paving.
Carports, sheds & outbuildings	Outbuildings are towards the rear.	New outbuildings should be as unobtrusive as possible. Sheds and carports should be located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street.
Gardens	Most gardens have lawns with shrubs & trees.	Garden beds which adjoin significant fabric should be removed away from the fabric of significant buildings, especially at the former coach station (7 Adelaide Road). Remove plastic from around gate pier at 5 Adelaide Road.	Avoid plants and structures which break the dialogue between significant / contributory buildings and street. Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.
Trees	Significant trees in the Zone are assessed in table 4 below.	Existing remnant gums and indigenous plants should be retained where possible, unless they pose a threat to the safety of people or significant fabric.	Avoid planting any trees near significant fabric.



former Bible Christian Chapel – note stonework



fr smithy, Harrogate Rd – note stonework to side wall



fr post office & residence, 32 Mail Rd – note fencing

8.7.5 Landscape character

The small settlement of Harrogate is clustered around the river which runs through the town.

Harrogate HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Mail Rd	Significant centuries-old eucalypt	Significant tree	<ul style="list-style-type: none"> • Retain and maintain tree
T2	Harrogate Rd	Significant mature eucalypt	Significant tree	<ul style="list-style-type: none"> • Retain and maintain tree
T3	River	River including river topography (river beds, meandering route & banks), & vegetation to either side of river	Topography & Landscape	<ul style="list-style-type: none"> • Maintain river area including removal of weeds & debris, and monitoring of pollution • Where possible, revegetate along river with appropriate species
T4	River reserve	Open area of undeveloped land containing river and significant tree (T2)	Topography	<ul style="list-style-type: none"> • Maintain area as an un-subdivided and undeveloped community reserve



Ancient gum tree, river & river reserve (T2, T3 & T4)



Ancient gum tree, Mail Rd (T1)

8.7.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Harrogate HCZ – Table 5 **Significant views from zone**

View	Position for viewing	Direction of view	Description of view	Recommendations
V1 & V2	River at W and E ends of zone	W & E	View of river including river topography (river beds, meandering route & banks), & vegetation to either side of river including mature gum trees	<ul style="list-style-type: none"> • Retain and maintain mature indigenous trees • Maintain river area including removal of weeds & debris, and monitoring of pollution • Where possible, revegetate along river with appropriate species
V3	Harrogate Rd	N	View along street towards open vista including scattered mature eucalypts	<ul style="list-style-type: none"> • Retain and maintain mature trees • Where possible, revegetate degraded areas with appropriate species

8.7.7 Sense of arrival

The significant entry points are described in the following table.

Harrogate HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Harrogate Rd	from N	Appleton Cottage	Hedge and former smithy	Hedges and shrubs along approach to river crossing.
EP2	Harrogate Rd	from S	Former post office and significant tree (T1)	River reserve with church on hill	Hedges and shrubs along road to former smithy and Appleton.



Appleton Cottage, Harrogate Rd – note fencing (EP1)



View along Harrogate Rd to bridge (EP1)

8.8 Kanmantoo Historic (Conservation) Zone

8.8.1 Definition of zone

Kanmantoo has an unusual diamond-shaped plan of which only some of the external edges have been developed. The proposed zone includes the section of town which flanks the main road and adjacent river, as well associated development to the north and south, including North Road, Bartholomew Road and Cook Street.

The proposed Historic (Conservation) Zone is defined by figure 8.8 on the following page.



former school & wall, Princes Highway



former Britannia Hotel, Princes Highway

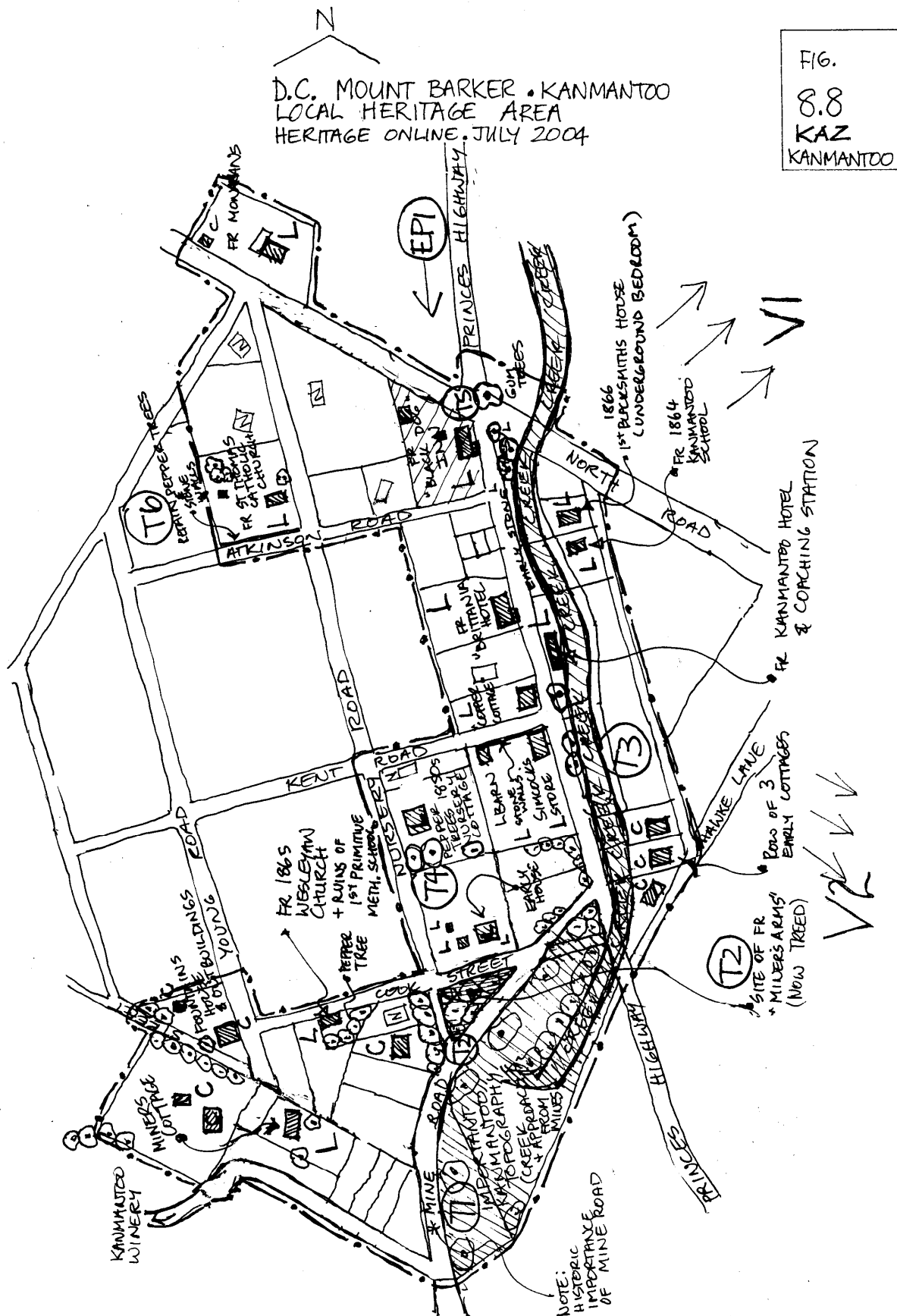
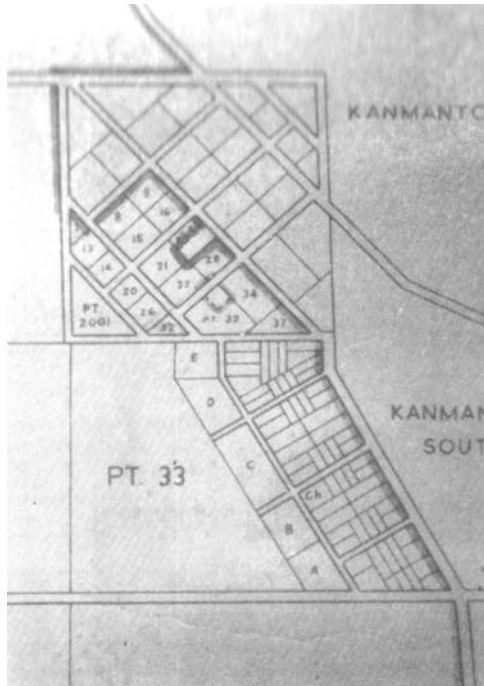


Figure 8.7 proposed Kanmantoo Historic (Conservation) Zone

8.8.2 Historical summary

Kanmantoo is one of the State's most significant copper mining towns, has significant links with mining and farming in the local area and shows evidence of its early commercial and religious development.



Subdivision plan of Kanmantoo
Mills AR 1981, *Kungna Tuko*, p 32

Kanmantoo H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Early establishment	Copper was first discovered in the Kanmantoo area in 1845, and in the same year a Special Survey was purchased by the SA Company and Paringa Mining Company. Following the survey, the SA Company won the 1,000 acres which included the main mine, and mining had commenced by 1846. In 1849, ⁸ the South Australian Company laid out the town of Kanmantoo to provide services and accommodation for local miners.	<ul style="list-style-type: none"> • Town plan
Mining	One of the earliest copper mines in the state was founded at Kanmantoo in 1846. The Kanmantoo Special Survey purchased by the Paringa Mining Company and SA Company mapped out 20,000 acres including the latter's 1,000-acre copper-rich Kanmantoo mine	<ul style="list-style-type: none"> • Miners' cottages (from 1840s)

⁸ Manning, Geoffrey H 1990, *Manning's Place Names of South Australia*, p 162.

Theme	Description	Significant places associated with theme
	(1846). Subsequent significant mines in the area included Paringa (1846) and Bremer (Callington, 1850)	
Commercial development	Kanmantoo was a significant service centre for passing traffic and for many workers and residents associated with the mines.	<ul style="list-style-type: none"> • fr Britannia Hotel (1857) • fr Kanmantoo Hotel (1863) • fr Black Dog Inn (c1853) • fr Simcock's store (1850) • fr smithy • site of Miners' Farm Hotel
Religion	During the mid 19 th century, Kanmantoo supported a large population who subscribed to several different religions. Those who built purpose-built churches in the township were the Catholics and Wesleyans, while the Primitive Methodists also erected a building for use as a school and chapel.	<ul style="list-style-type: none"> • Catholic church (1858) • fr Wesleyan church (1865) • fr school & Primitive Methodist chapel (1880)
Horticulture & viticulture	<p>In 1857, CB Young purchased half of the town's blocks and planted vines on them. Many of the early miners' cottages in Kanmantoo South were demolished to make way for grape vines. The vines were removed in 1939.</p> <p>The principal diagonal road, Nursery Road is named after the early nursery established on several town allotments.</p>	<ul style="list-style-type: none"> • fr Nursery cottage, Nursery Road • surviving miners' cottage, Kanmantoo South

8.8.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Kanmantoo H(C)Z – Table 2 Significant & contributory places in the zone

	St No	Street	Town	Place name	CT	Pope rec
586	lot 102	Mine Rd / Cook St	Kanmantoo	Cottage, hut & dairy	5768-153	L
588	lot 61	Mine Rd (off)	Kanmantoo	fr Miners' Cottage	5823-26	L
589		Mine road (off)	Kanmantoo	Cottage, nr winery complex		C
591	lot 101	Nursery Rd	Kanmantoo	House, fr Wesleyan Methodist Church	5082-817	L
592	lot 14	Nursery Rd	Kanmantoo	fr St Thomas' Catholic Church, outbuilding & stone wall	5149-199	L
593		Nursery Rd (E side)	Kanmantoo	Nursery cottage	5419-529	L
595	lot 27	Princes Hwy	Kanmantoo	Kanmantoo Hall, fr school & PM Church	5632-687	L

	St No	Street	Town	Place name	CT	Pope rec
596	lot 58	Princes Hwy	Kanmantoo	Kanmantoo PO & Store, fr Kanmantoo Hotel & coach station	5099-218	L
597	lot 50	Princes Hwy	Kanmantoo	fr Black Dog Inn & stone outbuilding	5086-79	L*
598		Princes Hwy	Kanmantoo	Copper Cottage	5436-636	L
599		Princes Hwy	Kanmantoo	Peppertree Lodge, barn & walls, fr Simcocks Store	5742-714	L
600		Princes Hwy	Kanmantoo	Villa Sanso Restaurant, fr Britannia Hotel	5256-921	L*
601		Princes Hwy	Kanmantoo	fr blacksmith's house	5405-781	L
602		Princes Hwy	Kanmantoo	bluestone guttering & kerb		C
603		Princes Hwy	Kanmantoo	Curved stone wall	5632-687	L
604		Princes Hwy / Hawke Ln	Kanmantoo	Cottage	5405-783	C
605		Princes Hwy / Hawke Ln	Kanmantoo	Cottage		C
606		Princes Hwy / Hawke Ln	Kanmantoo	Cottage		C
607		Princes Hwy / Mine Rd	Kanmantoo	House		C
608		Princes Hwy/ Mine Rd	Kanmantoo	The Triangle, site of Miners' Arms Hotel		C
610		Proctor Rd	Kanmantoo	Monaghans cottage & stone shed	5135-73	L
612		Young St	Kanmantoo	Fountains cottage & outbuilding		C

8.8.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;
- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.8.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.8.4 Definition of zone character & recommendations for new development


Table 3 summarises the typical characteristics of the significant and contributory places in the zone, as well as the corresponding appropriate and inappropriate features for new development within the zone.

Kanmantoo HCZ – Table 3

Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	Kanmantoo was officially laid out in 1849. The original plan was based on a regular grid overlaid with diagonal sections. The town was surveyed 'on paper', based on four points plotted on the map, then infilled with a standardised grid plan. The resulting plan includes some streets which do not relate to the topography. The idiosyncrasy of its plan contributes to its historical significance.	Where possible, new development should be in existing original allotments outside of the proposed Historic (Conservation) Zone. It is preferable that original allotments outside the Zone are not further subdivided.	Avoid further subdivision, especially along the creek. Within the Zone, avoid development on allotments adjacent to Princes Highway and creek.
Building types, scale & massing	All of Kanmantoo's significant commercial development is along the Princes Highway. Its community hall is sited prominently on the hillside above along with the blacksmith's house. Below is the Kanmantoo creek-bed. The creek's periodic flooding led to the construction of the curved stone wall that once protected the first school (now demolished), and other remnant stone walls including those around Simcock's store.	During the mid-19 th -century, Kanmantoo was a significant commercial centre for the surrounding district, including four hotels! All of these significant former hotels survive, and the town in general has been little altered since its boom period. We strongly recommend no new development along Princes Highway between surviving mid-19 th -century buildings. New development to side-streets should be unobtrusive with a neutral visual effect. Residential development should comprise single-storey small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid large-scale commercial and industrial development. Avoid new development adjacent to creek. Avoid large-scale residential development and large-size buildings. Avoid joined units and attached development.
Setbacks	Most of the former hotels and shops abut street or have verandahs fronting onto the street. Side street development is generally set back behind gardens.	New development adjacent to significant buildings should be set back further than significant buildings (preferably at least 3m).	Avoid development adjacent to creek.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Typical residential styles	The majority of significant residential development in the Area is mid 19 th -century with simple Colonial styling. Residences are free-standing cottages. There are no significant 'High Victorian' or Federation residences in the Area.	Free-standing single-storey small houses with simple detailing and proportions are preferable.	Avoid 2-storied or more. Avoid 'High Victorian' or 'Federation' design or detailing. Avoid pastiche.
Wall structure	The majority of significant and contributory buildings are constructed of unrendered local stone. Some buildings have been rendered.	New development should have smooth-rendered finish to exterior walls	Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	The earliest buildings have stone dressings, with later buildings having brick dressings, some rendered.	Render to walls should cover dressings.	Avoid exposed (non-rendered) dressings for new development.
Openings	All windows and doors are timber with timber-frames. A few of earliest cottages have multi-paned casement windows or four-paned tilt windows. Another common window type is double-hung sash (some multi-paned). Britannia Hotel shop has fixed shop windows. The Catholic church & fr PM church has lancets, & fr Wesleyan church has half-round-topped windows.	All windows and doors should be timber with timber frames. Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind with steel rods. Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.	No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.
Roof forms	Churches & cottages generally have gable roofs, several with low parapets and coping. Commercial buildings have hipped roofs. Additions to rear generally have skillion roofs.	Simple gable roofs with similar scale and proportions to existing comparable building types in Area.	No gablets or finials. Avoid 'federation' decorative features. Avoid complex roof structures (eg. combinations of hipped and gabled roofs).
Roof materials	Corrugated galvanised iron (cgi)	'Heritage' corrugated galvanised iron unpainted or in light to mid grey. Heritage cgi is preferred to Colorbond.	No tiles or tile-profile metal sheeting.

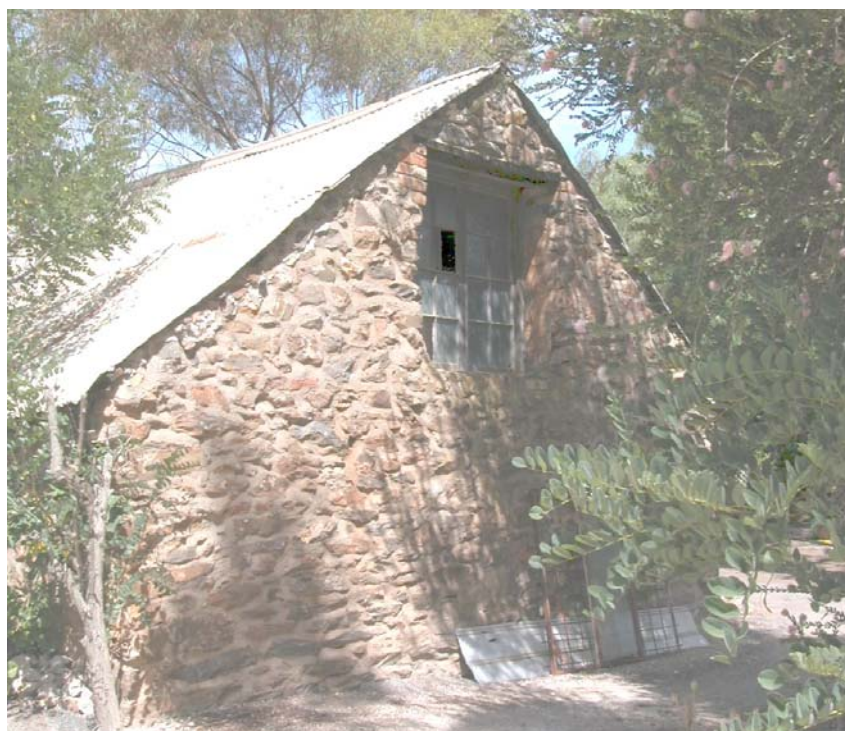
Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Gutters	O-gee and half-round gutters	Half-round gutters or small-profile o-gee gutters.	No fascia gutters or 'D-gutters' Avoid large-profile o-gee gutters on verandahs and small-scale cottages.
Verandahs	Verandahs are generally raked. Good examples of verandahs have timber posts with no detailing.	Verandahs with simple, raked cgi roofs with timber posts and no detailing.	No iron-lace or metal posts. Avoid unsymmetrical verandahs. Avoid gablets.
Chimneys	The majority of chimneys are red-brick with two rows of coursing near top.	If required, chimneys should be simple, rendered, and of similar proportions to early cottages.	Avoid large-scale chimneys.
Street furniture	Simple metal street signs. Street lights are unobtrusive C20 functional lights attached to Stobie-poles.	Street-signs and simple functional lighting should remain as existing. Vandal-resistant lighting of hall and creek area is recommended. We recommend picnic seating be introduced along both sides of the creek. Public seating should be simple timber & metal benches, as in the following example at Anembo Park, nr Littlehampton.  Interpretative signs to be of simple metal design. Suggest rectangular shape supported by round galvanised-iron posts.	Avoid large-scale obtrusive street lights. Avoid ornate styles of interpretative signs, street signs or seating.
Footpaths & verges	Footpaths and verges are generally gravel or compressed earth.	Where possible, retain the established rural character of roadside.	Avoid using modern brick paving.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Fencing & gates	<p>Stone fencing was used in Kanmantoo to protect against floodwaters from Kanmantoo Creek.</p> <p>In other cases, fencing is minimal and low. The buildings relate well to the street and to each other.</p> <p>The main forms of fencing in 19th-century Kanmantoo:</p> <ul style="list-style-type: none"> • stone walls • timber post and wire • some picket fences 	<p>Where possible, all fencing facing onto street should be minimal and low.</p> <p>Where fencing is required, preferred styles are:</p> <ul style="list-style-type: none"> • timber posts with wire mesh infill • local stone walls • simple pickets <p>Preferred fencing for rear and side boundaries should be stone walls, wire mesh or timber pickets.</p>	<p>Avoid ornate picket-fence styles.</p> <p>No cast-iron lace, exposed modern brick pillars</p>
Driveways	There are few driveways within the Area. Existing driveways are generally gravel or compressed-earth.	Prefer gravel or compressed-earth drives. Gravel should preferably be sand-stone-coloured.	Avoid modern paving.
Carports, sheds & outbuildings	There are few existing garages or carports in the Area and all outbuildings are towards the rear.	New outbuildings should be as unobtrusive as possible. Sheds and carports should be separate buildings located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street.
Gardens	There are some dry gardens in the town.	Drought resistant plants are recommended for this town, preferably indigenous plants. We especially recommend casuarinas, acacias, native pines, ti-trees & native grasses.	<p>Avoid plants and structures which break the dialogue between significant / contributory buildings and street.</p> <p>Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.</p>
Trees	Significant trees in the Area are described in table 4 below.	<p>Existing remnant gums, introduced sugar gums & pepper trees, and indigenous plants should be retained where possible, unless they pose a threat to the safety of people or significant fabric.</p> <p>Prefer indigenous species for new plantings, especially blue gums, casuarinas, acacias, native pines & River Red Gums.</p>	Avoid planting any trees near significant fabric.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Other features of zone	The creek and its associated mature trees are a significant feature of the Zone (see table 4 below) and are in urgent need of revegetation.	It is vital that the creek is revegetated as a matter of priority with appropriate indigenous species (see below).	



Stone wall with creek and hall to rear



Barn to rear of Simcock's Store, off Princes Highway



former Catholic Church, Nursery Rd - note fence & stonework



former Methodist Chapel, Cook St – note fencing & stonework



Outbuilding to rear former Black Dog Inn, Princes Highway



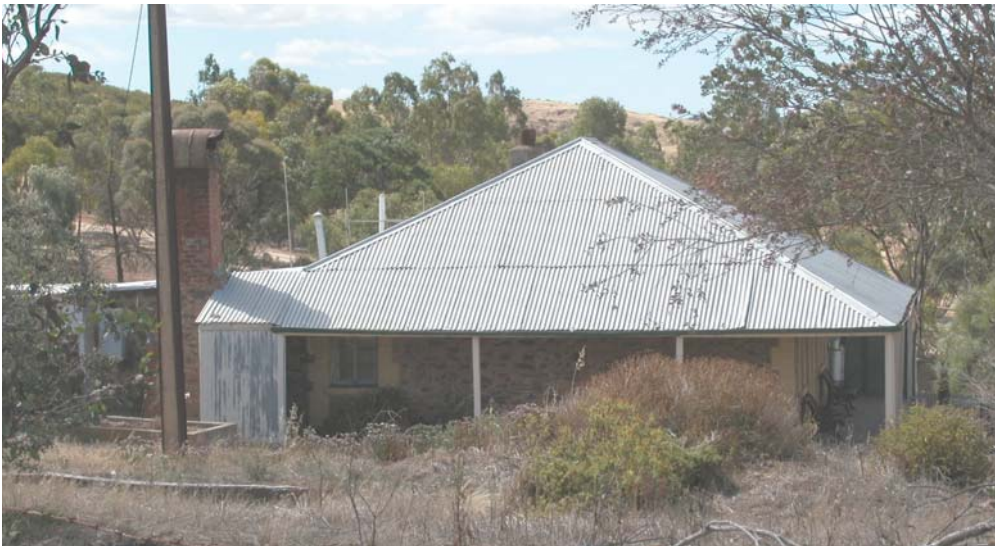
Rear of Kanmantoo South Miners' Cottage



fr Monaghan's cottage with late C20 additions to LHS. Note fine use of local materials and sympathetic proportions and detailing (especially use of gable roofs, recycled windows, etc.)



Stone outbuilding at Monaghan's cottage, note fencing



Fountains Cottage, Young Road



Stone outbuilding and rear of former Kanmantoo Hotel with creek to LHS



Garden of Copper Cottage, Princes Highway



former Simcock's store, Princes Highway (note stone wall)



former blacksmith's cottage – note early form



Cottage on corner Mine Rd & Cook St – note early form



Outbuildings at cottage, corner Mine Rd & Cook St – note simple construction & detailing



former dairy to rear cottage, Cook Street / Mine Road

8.8.5 Landscape character

The original landscape of Kanmantoo was rich with indigenous vegetation including blue gums, casuarinas, acacias, native pines, ti-trees, native grasses and river red gums along the creeks.⁹ Most of these plants were destroyed by the advent of Europeans, especially by the smelting and pastoral industries. The few indigenous species which remain are of special importance. The creek and many mature trees including the introduced sugar gums, provide Kanmantoo with the feeling of an oasis. The landscape features which make a special contribution to the character of the town are defined in the following table.

Kanmantoo HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Mine Rd, E side at S end	Vacant land including some mature trees	Topography & significant trees	<ul style="list-style-type: none"> • Retain and maintain mature trees • Retain this area as a community reserve
T2	Mine Rd, site of former Miners' Arms Hotel	Small triangle of land at junction, now treed	Topography	<ul style="list-style-type: none"> • Retain as historic reserve

⁹ Mills, AR 1981, *Kungna Tuko*, p 111.

No.	Location	Description	Category	Recommendations
T3	Creek	Creek including creek topography (creek beds, meandering route & banks) & significant trees to either side of creek	Topography & significant trees	<ul style="list-style-type: none"> • Revegetate degraded areas with appropriate indigenous species, including both native trees and appropriate understorey plants (blue gums, casuarinas, acacias, native pines, ti-trees, native grasses and river red gums). • Retain and maintain existing mature indigenous trees • Maintain creek including removal of debris & weeds, and monitoring of pollution
T4	Nursery cottage, Nursery Rd	Mature pepper trees in garden of Nursery Cottage	Significant trees	<ul style="list-style-type: none"> • Where possible, retain and maintain pepper trees
T5	Princes Highway / North Rd	Significant mature eucalypt on roadside	Significant tree	<ul style="list-style-type: none"> • Retain and maintain tree
T6	fr Catholic church, Nursery Rd	Mature pepper trees and garden of fr Catholic church	Significant trees	<ul style="list-style-type: none"> • Retain and maintain trees



looking west across creek (T3) from former school towards former Britannia Hotel



Kanmantoo creek with hall to RHS (T3)



Mature sugar-gum (T5)

8.8.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Kanmantoo HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	North Road or Princes Highway	NE	Rising hillside with scattered eucalypts	<ul style="list-style-type: none"> • Revegetate degraded areas with appropriate indigenous species, including both native trees and appropriate understorey plants. • Retain and maintain existing mature indigenous trees
V2	Cook Street / Young Road	SE	Rising hillside with scattered eucalypts	<ul style="list-style-type: none"> • Revegetate degraded areas with appropriate indigenous species, including both native trees and appropriate understorey plants. • Retain and maintain existing mature indigenous trees



Rear of former Wesleyan Chapel, looking E towards V2

8.8.7 Sense of arrival

The significant entry points are described in the following table.

Kanmantoo HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Princes Highway	from N	Significant gum tree and creek	fr Black Dog Inn	Main Street of Kanmantoo with former hotel and store



former Black Dog Inn, Princes Highway (EP1)

8.9 Littlehampton Historic (Conservation) Zone

8.9.1 Definition of zone

The proposed zone stretches along the Princes Hwy between the significant brickworks, and the important residential development at the eastern end of the town.



Aerial photograph of Littlehampton

The proposed Historic (Conservation) Zone is defined by figure 8.9 on the following page.

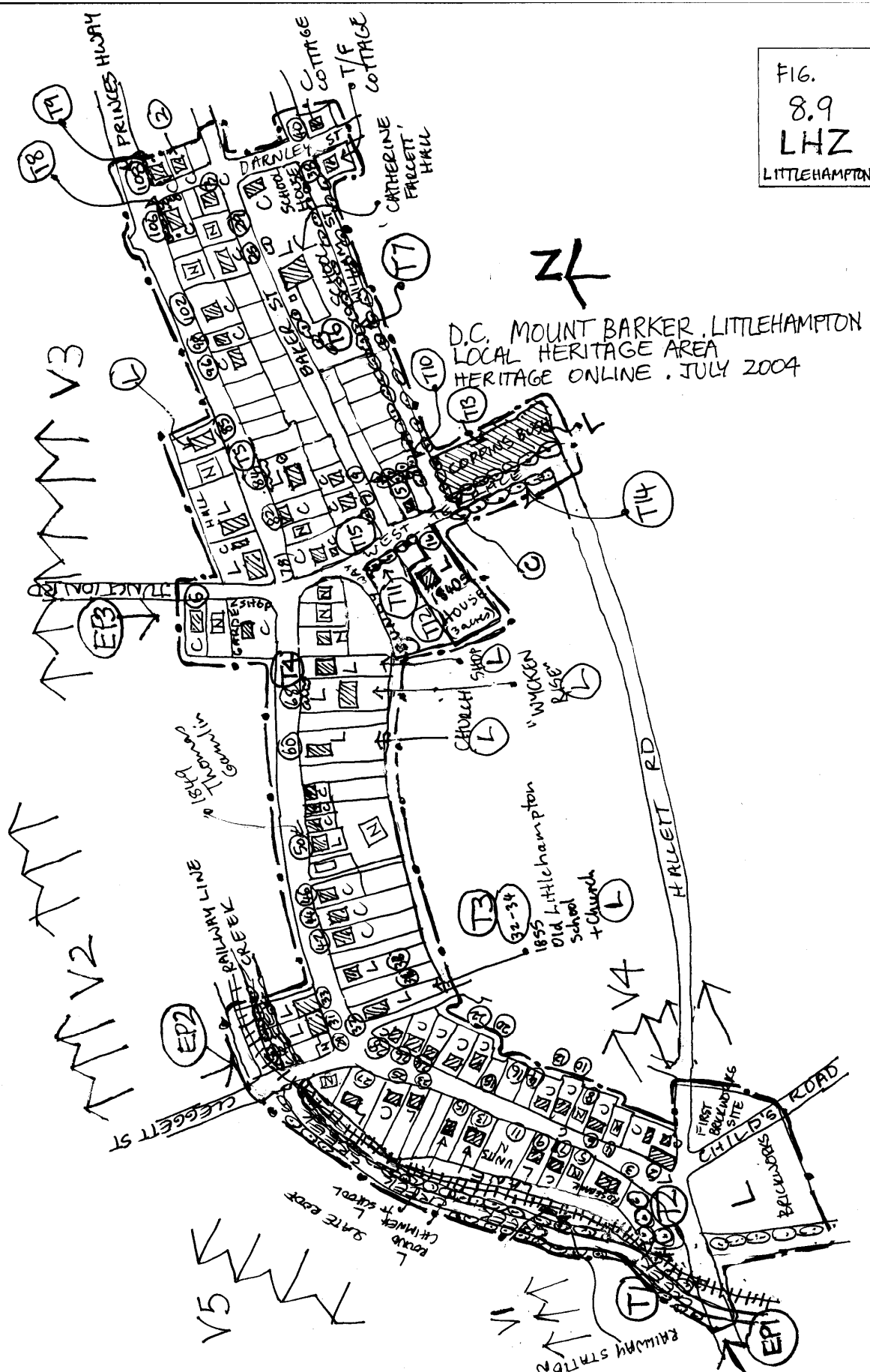


Figure 8.9 *proposed Littlehampton Historic (Conservation) Zone*

8.9.2 Historical summary

Littlehampton was one of the earlier towns to be established in the Adelaide Hills, and has many significant themes associated with its development. The outstanding feature of the town is the prominent brick factory and the number of brick buildings in the town.

Littlehampton H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Early establishment	The town of Littlehampton was laid out by 1851, but was not officially registered until 1857. The town was founded jointly by four adjacent landowners.	<ul style="list-style-type: none"> • Original plan
Four founders	In 1849, the land on which Littlehampton now stands was granted to four different landowners, namely John Smith of Blakiston and Thomas Biddles, FR Hunt and Benjamin Gray of Mt Barker. Within two years, these four men had cooperated to found the town of Little Hampton at the place where their four properties met. The name was reputedly chosen by Benjamin Gray from his native village in Sussex, and was adopted by 1859. ¹⁰	
Industries	By 1900 Littlehampton was a busy industrial area. Bacon, jam and sauces were manufactured on the Main St. Mess'rs E & F Miel's had a brewery in the town. There was also a wattle extract factory run by Borrow & Haycroft, and a sawmill owned by Paterson. The town now provides services for local industries including brickmaking & fruit growing.	<ul style="list-style-type: none"> • Littlehampton brickworks • Local brick cottages & houses: 3, 7, 9, 10, 13, 15, (17), 23, (25), 26, 28, 42, 44, 46, 56, 78, etc. Main St • Food factory, 33 Princes Hwy
Local construction methods & materials	The Chapman family owned the first brickworks in Littlehampton on the opposite side of the road to the current brickworks. The still existing Littlehampton Brick Products was established in 1913. It has distribution throughout SA. There are also several buildings with slate roofs, including a former school.	<ul style="list-style-type: none"> • Littlehampton brickworks • Local brick cottages & houses: 3, 7, 9, 10, 15, (17), 23, (25), 26, 28, 42, 44, 46, 56, 78, etc. Main St • Brick house with round chimney, 13 Main Street • Buildings with slate roofs: (21) & 68 Princes Hwy
Commerce	Littlehampton provided services for the surrounding farming district as well as for its own important industries. The 'Little Hampton' post office was opened in 1851.	<ul style="list-style-type: none"> • Post office (1851) • Shops along Princes Hwy

¹⁰ Manning, Geoffrey H 1990, *Manning's Place Names of South Australia*, p 182.

8.9.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Littlehampton H(C)Z – Table 2 Significant & contributory places in the zone

	St No	Street	Town	Place name	CT	Pope rec
663	7	Baker St	Littlehampton	House (c1910)		C
664	9	Baker St	Littlehampton	House (c1910)		C
665	25	Baker St	Littlehampton	House		C
667		Baker St	Littlehampton	Catherine Farcett Hall, Littlehampton Primary School	5307-63	L
668		Baker St	Littlehampton	Schoolhouse		C
670		Childs Rd	Littlehampton	site of original brickworks		X
671		Clems Lane	Littlehampton	Railway Station		U
673	(2)	Darnley St	Littlehampton	House (c1910)		C
674	(3)	Darnley St	Littlehampton	House (c1920)		C
676	6	Junction Rd	Littlehampton	Cottage		C
678	1	Princes Hwy	Littlehampton	Rosebank, brick house	5770-871	L
679	(2a)	Princes Hwy	Littlehampton	Littlehampton Bricks	5792-221	L
680	2	Princes Hwy	Littlehampton	House & outbuildings, fr bakery	5796-870	L
681	5	Princes Hwy	Littlehampton	House (brick, 1920s)	5459-745	C
682	6	Princes Hwy	Littlehampton	Cottage (double gable)		C
683	7	Princes Hwy	Littlehampton	Cottage (brick) & stone barn	5061-390	L
684	10	Princes Hwy	Littlehampton	House (brick, 1920s)		C
685	12	Princes Hwy	Littlehampton	Cottage (stone with brick quoins)		C
686	13	Princes Hwy	Littlehampton	fr Daly's Cottage	5127-492	L
687	15	Princes Hwy	Littlehampton	Cottage, former school	5494-700	L
688	19	Princes Hwy	Littlehampton	Cottage (brick)	5660-924	C
689	20	Princes Hwy	Littlehampton	Cottage (stone, brick quoins)		C
690	21	Princes Hwy	Littlehampton	Cottage (brick)	5316-328	L
691	23	Princes Hwy	Littlehampton	Cottage		C
692	24	Princes Hwy	Littlehampton	Cottage (weatherboard)		C
693	25	Princes Hwy	Littlehampton	Cottage (German)	5709-960	L
694	26	Princes Hwy	Littlehampton	Cottage (brick)		C
695	28	Princes Hwy	Littlehampton	Cottage (brick)		C
697	31	Princes Hwy	Littlehampton	former general store	5359-946	L
698	32-34	Princes Hwy	Littlehampton	House, fr church & school	5523-398 5792-849	L
699	33	Princes Hwy	Littlehampton	former bacon/cheese factory		L
700	38	Princes Hwy	Littlehampton	Cottage, fr shop	5650-597	L
702	42	Princes Hwy	Littlehampton	Cottage		C
703	44	Princes Hwy	Littlehampton	Cottage (brick)		C
704	46	Princes Hwy	Littlehampton	Cottage (brick)		C
705	50	Princes Hwy	Littlehampton	Cottage & outbuilding (brick)	5156-495	L
706	52	Princes Hwy	Littlehampton	Cottage (stone with brick quoins)		C
707	54	Princes Hwy	Littlehampton	Cottage		C

	St No	Street	Town	Place name	CT	Pope rec
708	56	Princes Hwy	Littlehampton	Cottage (brick)		C
709	60	Princes Hwy	Littlehampton	fr Wesleyan Church	5779-606	L*
711	68	Princes Hwy	Littlehampton	Wycken Rise	5633-611	L
712	(69)	Princes Hwy	Littlehampton	Nursery outbuilding		C
713	(69)	Princes Hwy	Littlehampton	Oak tree		C
714	70	Princes Hwy	Littlehampton	Bumpkin's Antiques, fr Coppin's store & residence	5423-186	L*
715	71-73	Princes Hwy	Littlehampton	Great Eastern Hotel	5263-241	L
716	75-77	Princes Hwy	Littlehampton	Peace Memorial Institute	5766-657 5105-420	L
717	78	Princes Hwy	Littlehampton	House & outbuildings (brick)		C
719	82	Princes Hwy	Littlehampton	Pair of shops (1930s)		C
720	84	Princes Hwy	Littlehampton	House	5598-907	L
721	85	Princes Hwy	Littlehampton	Home (stone with brick quoins)		C
724	96	Princes Hwy	Littlehampton	House (1920s)		C
725	98	Princes Hwy	Littlehampton	House		C
726	102	Princes Hwy	Littlehampton	House		C
727	106	Princes Hwy	Littlehampton	House		C
728	108	Princes Hwy	Littlehampton	House (Tudor)		C
730	16	West Tce	Littlehampton	Varykino, pioneer house	5747-377	L
731		West Tce	Littlehampton	Coppin's Bush Flora Reserve	CR 5478-831	L
732	5	West Tce	Littlehampton	Cottage		C
734	38	William St	Littlehampton	House (timber-framed)		C
735	40	William St	Littlehampton	House (stone)		C



70 Princes Highway



Littlehampton Brickworks and former bakery, 2 Princes Highway

8.9.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;
- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.9.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.9.4 Definition of zone character & recommendations for new development

Table 3 summarises the typical characteristics of the significant and contributory places in the zone, as well as the corresponding appropriate and inappropriate features for new development within the zone.

Although Littlehampton is significant as a service town to passing traffic, its heritage significance is now being compromised by the excessive volume of commuter traffic which now passes through the town. To improve the amenity, integrity, heritage & interpretative qualities of the main street, we recommend the following:

- A new freeway exit should be constructed for Nairne, so that traffic to Nairne and

beyond does not travel through Littlehampton (ie, the freeway provides a Littlehampton bypass)


- A 50 km/hour zone is instated throughout the town
- All power lines along the main street should be placed underground
- Except where there are existing eucalypts, plant an avenue of plane trees (*planus orientalis*) or similar along the main street, to assist with protection from pollution & noise

Littlehampton HCZ – Table 3 Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	The proposed Zone includes the earliest township development along the main road, which for the most part is constructed on the 19 th -century subdivision of the town.	Current allotments within the Zone should be preserved and not further subdivided.	Avoid further subdivision of current allotments. Avoid development adjacent to creek.
Building types, scale & massing	Littlehampton is an important service town with central main road, with all commercial, most community and all historic industrial development along its main street. Physically, the main street is dominated by the Littlehampton brickworks at the western end, with the prominent Great Eastern Hotel and adjacent Peace Memorial Institute at the centre. There is also one significant two-storey shop building and several other shops and a former bacon factory adjacent to the street. Most other buildings are small-scale residential properties adjacent to the street, with some larger-scale houses set back from the street behind gardens. The side streets contain a number of residences, the school, and some significant landscape features.	New developments and additions should be unobtrusive with a neutral visual effect. Residential development should comprise single-storey small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid large-scale commercial and industrial development within zone or along main street. Avoid new development adjacent to creek. Avoid large-scale residential development and large-size buildings. Avoid joined units and attached development.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Setbacks	Most shops are located adjacent to pavement or set back to the width of their verandahs. Most residences are set back behind a garden, with smaller cottages being closer to the street than more substantial houses.	New development should be set back further than existing significant places. Infill development adjacent to contributory buildings should have the same or greater set back as neighbouring contributory development.	Avoid uniform setbacks when introducing new groups of houses. Avoid development adjacent to river.
Typical residential styles	The most important residential development in the Zone is mid to late 19 th -century with simple Colonial styling. Residences are free-standing cottages and houses. There are no significant 'High Victorian' or Federation residences in the Zone.	Free-standing single-storey small houses with simple detailing and proportions are preferable.	Avoid 2-storied or more. Avoid High Victorian or Federation detailing, or other elements of pastiche.
Wall structure	A significant feature of this zone is the use of locally-manufactured bricks for construction. Some places are constructed of stone (some rendered). There are also some timber-framed cottages with weatherboard or pressed-metal cladding.	We recommend new development within the Zone be constructed of Littlehampton red-bricks timber-framed with weatherboard or cgi cladding. Where new masonry development has not used Littlehampton red-bricks, exterior walls should have a smooth-rendered finish.	Except in the case of Littlehampton red-bricks, avoid exposed modern materials such as exposed brick, stone and veneer.
Dressings	Most buildings have brick corners and surrounds.	For masonry buildings, prefer Littlehampton red-bricks for dressings. New development using other modern bricks should be rendered to cover dressings.	Except in the case of Littlehampton red-bricks, avoid exposed (non-rendered) dressings on masonry buildings.
Openings	All windows and doors are timber with timber-frames. Most places have double-hung sash windows, with some casement windows and some fixed shop windows. The Uniting Church has lancet windows, and the fr PM church and school has some half-round-topped windows.	All windows and doors should be timber with timber frames. Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind. Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.	No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Roof forms	The churches and several early cottages have gable roofs, with several larger houses and shops having hipped roofs. Additions to rear generally have skillion roofs.	Simple gable roofs with similar scale and proportions to existing comparable building types is most appropriate.	No gablets or finials. Avoid 'federation' decorative features. Avoid complex roof structures (eg. combinations of hipped and gabled roofs).
Roof materials	The main roof cladding is corrugated galvanised iron (cgi). There are also a few slate roofs to significant early houses. Some of the contributory early-20 th -century buildings have Marseilles tiled roofs.	'Heritage' corrugated galvanised iron unpainted or in light to mid grey. Heritage cgi is preferred to Colorbond.	No tiles or tile-profile metal sheeting.
Gutters	O-gee and half-round gutters	Half-round gutters or small-profile o-gee gutters.	No fascia gutters or 'D-gutters' Avoid large-profile o-gee gutters on verandahs and small-scale cottages.
Verandahs	Original 19 th -century verandahs are raked or concave. Most verandahs added later are bull-nose verandahs. Good examples of verandahs have timber posts with no detailing.	Verandahs with simple non-continuous raked cgi roofs with timber posts and no detailing.	No iron-lace or metal posts. Avoid unsymmetrical verandahs. Avoid gablets.
Chimneys	A significant feature of this zone is the use of locally-manufactured bricks for chimney construction. There is also one unusual round chimney in the zone.	If required, new chimneys should be simple, rendered, and of similar proportions to early cottages.	Avoid large-scale chimneys.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Street furniture	<p>Simple metal street signs.</p> <p>Street lights are late c20 functional lights attached to Stobie-poles. There are also some modern goose-necked lights at the eastern end of the main street (see below).</p> 	<p>Street-signs should remain as existing.</p> <p>We recommend that power lines should be placed underground on the Main Street, and that simple goose-necked lights are used through-out.</p> <p>We recommend that Littlehampton Brickworks be flood-lit at night to emphasise the significance of the industry to the town.</p> <p>Vandal resistant uplights to the following significant buildings would also be appropriate:</p> <ul style="list-style-type: none"> • Uniting Church • Bumpkins <p>Public seating should be simple timber benches.</p>	<p>Avoid large-scale obtrusive street lights.</p> <p>Avoid ornate styles of interpretative signs, street signs or seating.</p>
Footpaths & verges	<p>Footpaths along Princes Highway are bitumen with grass or gravel verges. There are also some highly-contributory grass footpaths in side streets. Roads have concrete kerbing and guttering.</p> <p>There are also some contributory road-side islands containing lavenders and agapanthus plants</p>	<p>Due to its special historical associations with Littlehampton Bricks, we recommend that footpaths along the main street be paved with straight-sided 150x150mm square terra-cotta pavers from Littlehampton Bricks.</p> <p>Main Street curbing and guttering should remain as existing (concrete), including use of landscaped road-side islands. Between path and verges, prefer low shrubs, grass or sandstone-coloured gravel.</p>	<p>Within zone, avoid using modern brick paving other than that specified to left.</p>
Fencing & gates	<p>A significant feature of Littlehampton is its many hedges. Other methods of fencing are generally relatively unobtrusive. Many places in the Zone have no fencing, especially along the main street.</p>	<p>Where possible, all fencing facing onto street should be hedges.</p> <p>Where fencing other than hedges are required, preferred styles are:</p> <ul style="list-style-type: none"> • timber posts with wire mesh infill or brush fences with creepers • to cottages - simple pickets (flat or triangular-topped pickets of equal heights) <p>Preferred fencing for rear and side boundaries should be hedges or corrugated-galvanised iron (not other-profile metal sheeting).</p>	<p>Avoid ornate or modern picket-fence styles.</p> <p>No bluestone, tubular-steel, cast-iron lace, or exposed masonry pillars.</p>

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Driveways	Driveways are generally gravel.	Prefer gravel drives. Gravel should preferably be sand-stone-coloured. Littlehampton bricks are also appropriate.	Avoid coloured gravel.
Carports, sheds & outbuildings	Garages and carports are generally separate buildings set back from the front elevation of the house.	New outbuildings should be as unobtrusive as possible. Sheds and carports should be located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street. Avoid attaching garages and carports to significant or contributory fabric.
Gardens	Gardens generally have a large number of trees with shrubs & occasional lawns.	Garden beds which adjoin significant fabric should be removed away from the fabric of significant buildings.	Avoid plants and structures which break the dialogue between significant / contributory buildings and street. Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.
Trees	There are many significant trees and areas of significant vegetation within the Zone (especially along the creek and in Coppins Bush). These are assessed in table 4 below. There are also a few mature eucalypts along the main street.	Existing remnant gums and indigenous plants should be retained where possible, unless they pose a threat to the safety of people or significant fabric. In the side streets, new street trees should be appropriate indigenous species. For the main street, plant an avenue of plane trees (<i>planus orientalis</i>) or similar (except where there are existing eucalypts). Monitor existing mature trees where they are located close to significant fabric (ie. Bumpkins). Remove where necessary.	Avoid planting any trees near significant fabric.



Contributory house & garden, 40 William St



Contributory house & garden, 5 West Tce



Detail of 16 West Tce



Brickworks, Princes Highway



Looking E along Princes Hwy from no. 96 – note roadside island gardens including lavender & agapanthus

8.9.5 Landscape character

Littlehampton is a linear town with major landscape features being the creek and several front hedges and front gardens.

Littlehampton HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Creek	Creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek, especially mature indigenous eucalypts.	Topography / Significant trees	<ul style="list-style-type: none"> • Revegetate along creek with appropriate indigenous species • Maintain creek including removal of debris & weeds, & monitoring of pollution

No.	Location	Description	Category	Recommendations
T2	Railway corridor and Princes Highway / Clems Lane cnr	Stand of mature eucalypts at significant entry point of zone (EP1) and avenue of mature trees (including some eucalypts) alongside railway corridor.	Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T3	former schoolhouse & chapel, 32 Princes Highway	Outstanding garden set on hillside including mature trees	Landscape & topography	<ul style="list-style-type: none"> • Where possible, retain and maintain significant garden • Avoid subdivision
T4	Wycken Rise, 68 Princes Highway	Garden including mature trees	Landscape	<ul style="list-style-type: none"> • Where possible, retain and maintain significant garden • Avoid subdivision
T5	84 Princes Highway	Garden including front hedge and mature trees	Landscape	<ul style="list-style-type: none"> • Where possible, retain and maintain significant garden • Avoid subdivision
T6	Primary School garden, Baker Street	Mature trees to school garden	Landscape	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees
T7	William Street, rear of school	Row of mature eucalypts forming backdrop to school	Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T8	106 Princes Highway	Hedges and pair of tall palm trees	Significant trees & hedges	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees & hedges
T9	108 Princes Highway	Boundary hedges and garden including mature Canary Island date-palm	Landscape & Significant tree & hedges	<ul style="list-style-type: none"> • Where possible, retain and maintain significant garden & hedges
T10	W boundary of (2) William Street	Row of mature trees including eucalypts	Significant trees	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees
T11	W side of West Tce	Row of mature trees alongside street, especially eucalypts	Significant trees	<ul style="list-style-type: none"> • Where possible, retain and maintain significant trees
T12	16 West Tce	Garden of no. 16 including mature trees	Landscape	<ul style="list-style-type: none"> • Where possible, retain and maintain significant garden
T13	Coppins Bush Flora Reserve, West Tce	Blue gum woodland including significant indigenous trees and full range of indigenous understorey plants. Also native fauna	Topography / Landscape & Significant trees	<ul style="list-style-type: none"> • Retain and conserve this vital remnant indigenous woodland • Retain and maintain significant trees
T14	West Tce between William St & zone boundary	Avenue of mature eucalypts including edge of Coppins Bush	Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees

No.	Location	Description	Category	Recommendations
T15	West Tce / Baker St corner	Open space to rear of 78 Princes Highway including significant mature eucalypts	Topography / Significant trees	<ul style="list-style-type: none"> • Where possible, retain as unsubdivided open space • Where possible, retain & maintain significant trees



View of creek (T1)



Railway station with some track-side & creek-side vegetation (T1 & T2)



Vegetation alongside railway corridor (T2)



23 Princes Highway with creek landscape to rear (T1)



32 Princes Highway (T3)



House & garden at Wycken Rise, 68 Princes Highway (T4)



Looking W from 85 Princes Highway – note hedge & fence to RHS, & significant trees & hedge at no. 84 (T5) in distance



Significant hedge and garden at 84 Princes Highway (T5)



House, garden and gate at 84 Princes Highway (T5)



School bell and garden to front of school, Baker Street (T6)



School, Baker Street showing backdrop of eucalypts along William St (T7)



Looking W along William St from Darnley St with T7 to RHS & Coppins Bush (T13) in background



Hedges & palms at 106 Princes Highway (T8)



Hedge & garden at 108 Princes Highway (T9)



Row of trees off William Rd (T10)



Looking S along West Tce from Baker Street – note significant road-side trees (T11)



Garden of no. 16 West Tce (T12)



Garden of no. 16 West Tce (T12)



Coppins Bush Flora Reserve, West Tce / William St (T13)



Coppins Bush Flora Reserve, West Tce / William St (T13)



Open space to rear of (78) Princes Highway (T15), including significant tree to LHS & V2 in distance

8.9.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Littlehampton HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	Princes Hwy at SW entrance to zone	N	Creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek including mature trees (some eucalypts).	<ul style="list-style-type: none"> • Retain and maintain significant trees alongside creek • Revegetate along creek with appropriate species • Maintain creek including removal of debris & weeds, and monitoring of pollution
V2	Cleggett Street	NNW	Distant ridge of gums.	<ul style="list-style-type: none"> • Retain and maintain existing mature indigenous trees

View	Position for viewing	Direction of view	Description of view	Recommendations
V3	Junction Rd	NNW	View of open pasture with scattered mature eucalypts.	<ul style="list-style-type: none"> • Retain and maintain existing mature indigenous trees • Avoid further subdivision of farmland in this location
V4	Childs Rd behind no. 2	NE	View of row of mature eucalypts, including the Coppins Bush Flora Reserve (in zone)	<ul style="list-style-type: none"> • Retain and maintain existing mature indigenous trees • Where possible, retain hillside as unsubdivided land
V5	Princes Highway nr no. 23	NW	View of hillside with scattered mature eucalypts	<ul style="list-style-type: none"> • Retain and maintain existing mature indigenous trees • Where possible, retain hillside as unsubdivided land



View towards backdrop hill from brickwork (V2)



6 Junction Rd with V3 beyond



Looking N down West Tce from corner of William St with V3 in background



View of gums & Coppins Bush from Childs Rd with stone wall & outbuilding in foreground (V4)



23 Princes Hwy with V5 beyond

8.9.7 Sense of arrival

The significant entry points are described in the following table.

Littlehampton HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Princes Highway	from SW	Stand of significant gums and creek (T2 & T1)	Littlehampton brickworks	fr bakery (2 Princes Highway) and view of main street with C&L buildings
EP2	Cleggett St	from N	Creek and view of rear 31 & 33 Princes Highway	Creek	fr school & church (no. 32) and significant garden (T3)
EP3	Junction Rd	from N	Rear of Great Eastern Hotel and Institute	Contributory cottage at 7a Princes Hwy	Contributory house and garden at 78 Princes Highway



Littlehampton Brickworks (EP1) looking SW towards trees along creek (T1)



EP1 with brickworks to RHS and 2 Princes Hwy to LHS



Entry Point 1 (EP1 - arriving in Littlehampton from SW) with View 2 beyond

8.10 Meadows Historic (Conservation) Zone

8.10.1 Definition of zone

The Meadows zone is focussed along the Mawson Road and includes the commercial and community hub of the town.

The proposed Historic (Conservation) Zone is defined by figure 8.10 on the following page.



Mawson Rd, looking west from post office



fr Institute and Council Chambers

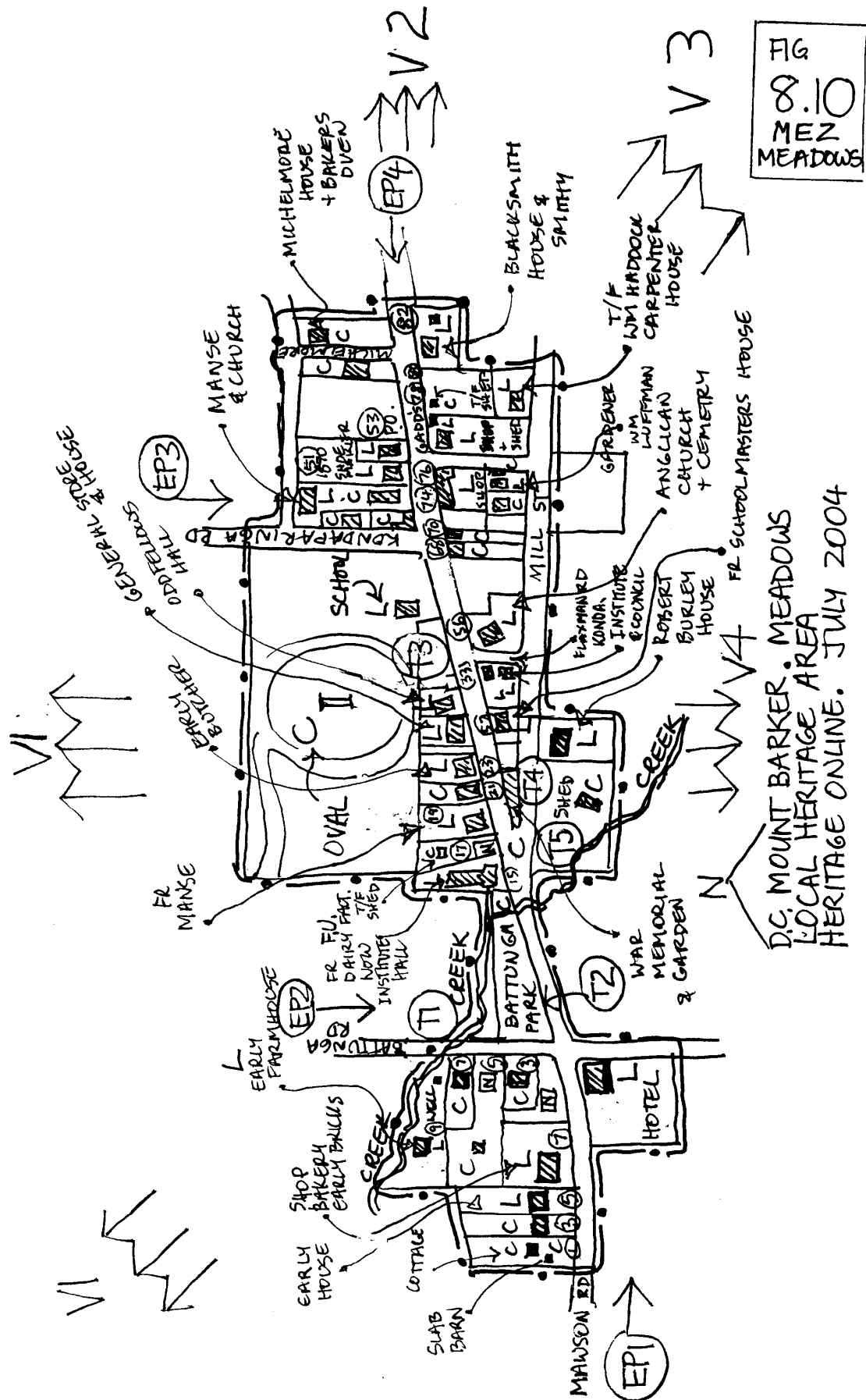


Figure 8.10 proposed Meadows Historic (Conservation) Zone

8.10.2 Historical summary

The Meadows Special Survey was undertaken for EW Cross in 1839, with the land being taken up by Charles Flaxman. However, it was not until 1856 that the first village was created in the area when William Hall purchased part of section 3491, later subdividing it to create the village of Meadows.¹¹ The first official subdivision in the area did not appear until 1884, when George Vickery subdivided part of section 3486 to create another village of Meadows. Another early name for this area was Eden Bridge.

Meadows is of special significance as the centre of local government for over 100 years, and in particular as the home of the Meadows District Council, which combined the original Kondoparinga District with those of Clarendon, Echunga and Macclesfield.



View of Meadows in 1890 W [Courtesy of MLSA, B17959]



General view of Meadows in 1900

Courtesy of Mortlock Library of South Australia B56881

Meadows H(C)Z – Table 1

Significant historical themes & features

Theme	Description	Significant places associated with theme
Early settlement	The town of Meadows was created by William Hall in 1856, and developed slowly through the late 19 th & early 20 th centuries to become an important service town for the surrounding rural district.	<ul style="list-style-type: none"> • Original town plan

¹¹ Manning, Geoffrey H 1990, *Manning's Place Names of South Australia*, p 199.

Theme	Description	Significant places associated with theme
Local Government	One of South Australia's earliest District Councils was the Kondoparinga DC, founded in 1853. From 1880, meetings were held in the Oddfellows' Hall, and in 1893 Council constructed their own building near the Anglican Church. A larger Institute building was constructed in 1914 to the front of the allotment. In 1935, the Kondoparinga District Council amalgamated with Echunga, Clarendon & Macclesfield to form the Meadows District Council. Meadows ceased to be the centre of local government in the late 20 th century when it became part of the District Council of Mount Barker.	<ul style="list-style-type: none"> • fr Council Chambers (1893) • fr Oddfellows' Hall (1880) • fr Institute (1914)
Commercial development	Meadows has developed to be an important centre providing a variety of shops and services for the local farming industry. The Meadows Hotel has been operating since 1856.	<ul style="list-style-type: none"> • Meadows Hotel (1856) • fr shop, post office & school, 78 Mawson Rd (c1860) • fr Murrie's shop, 86 Mawson Rd (c1860s) • shop & residence, 74-76 Mawson (c1860s) • former smithy • fr bootmaker's, 3 Battunga • post office (1883) • produce stores • various other shops along Mawson Rd
Industry	The town of Meadows supported a dairy factory (now closed) and a mill (now gone).	<ul style="list-style-type: none"> • former dairy factory (1936, now Meadows Memorial Hall) • Mill Street including site of former mill
Religion	As with many South Australian towns, the Methodists and Anglicans were the prominent denominations in Meadows.	<ul style="list-style-type: none"> • Anglican Church & cemetery (1869) • Uniting church • Uniting manse
Community	During the late 19 th and early 20 th century, many important community buildings were constructed in Meadows.	<ul style="list-style-type: none"> • fr shop, post office & school, 78 Mawson Rd (c1860) • former Institute (1914) • former Oddfellows' Hall (1880) • School (1911) • Meadows Memorial Hall, fr dairy factory (1936) • War Memorial • Oval

8.10.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Meadows H(C)Z – Table 2**Significant & contributory places in the zone**

	St No	Street	Town	Place name	CT	Pope rec
921	3	Battunga Rd	Meadows	House (bootmaker)		C
922	5	Battunga Rd	Meadows	Cottage to rear house		C
923	7	Battunga Rd	Meadows	House		C
924	9	Battunga Rd	Meadows	House & well	5503-68	L
925	(4)	Kondoparinga Rd	Meadows	Cottage		C
926	10	Kondoparinga Rd	Meadows	Uniting Manse	5399-894	L
927	1	Mawson Rd	Meadows	House & slab shed		C
928	3	Mawson Rd	Meadows	House (rendered stone)		C
929	5	Mawson Rd	Meadows	Settlers' cottage	5324-414	L
930	7	Mawson Rd	Meadows	Store & pug-holes, fr bakery, fr builders' premises	5222-610	L
932	(9a)	Mawson / Battunga Rds	Meadows	Battunga Gardens (1938)	Road Reserve	C
933	13	Mawson Rd	Meadows	Meadows Memorial Hall, fr SA Farmers' Union factory	5419-493	L
934	15	Mawson Rd	Meadows	House, fr Anglican Rectory	5499-215	L
935	(15a)	Mawson Rd	Meadows	Timber shed to rear of house		C
936	19	Mawson Rd	Meadows	House		C
937	25	Mawson Rd	Meadows	Butcher's shop & residence	5094-33	L
938	29	Mawson Rd	Meadows	'Middle Shop' & residence	5213-20	L
939	31	Mawson Rd	Meadows	fr Oddfellows Hall	5519-694	L*
940	31	Mawson Rd	Meadows	School	3446-158	L
941	32	Mawson Rd	Meadows	Meadows Hotel	5254-756	L
942	33	Mawson Rd	Meadows	Oval, including site of fr show pavillion		C
943	39	Mawson Rd	Meadows	Row+F955 of shops		L
944	41	Mawson Rd	Meadows	Meadows Uniting Church, inc remains of original Methodist chapel & stained glass windows		C
945	43	Mawson Rd	Meadows	House & wall	5218-290	L
946	45	Mawson Rd	Meadows	Post Office	5162-545	L
947	46	Mawson Rd / Mill St	Meadows	Meadows War Memorial & Garden		C
948	48	Mawson Rd	Meadows	Site of fr school		X
949	50	Mawson Rd	Meadows	House, fr Schoolmaster's residence	5318-158	L
950	51	Mawson Rd	Meadows	House		C
951	54	Mawson Rd	Meadows	fr Institute	5869-833	L
952	54	Mawson Rd	Meadows	fr Kondoparinga District Council Chambers	5869-833	L*
953	56	Mawson Rd	Meadows	St George's Anglican Church & cemetery	4213-228	L*
954	59	Mawson Rd	Meadows	House		C
955	64	Mawson Rd	Meadows	House, fr general store		C
957	68	Mawson Rd	Meadows	House (c1920s)		C
958	72	Mawson Rd	Meadows	Shop & residence	5824-450	L
959	78	Mawson Rd	Meadows	fr Gadd's store, post office & school, and shed	5245-510	L
960	80	Mawson Rd	Meadows	shed		C
961	82	Mawson Rd	Meadows	fr Simpson House	4142-348	L
963	86	Mawson Rd	Meadows	Pair of shops & residences (Murrie, Ellis)	5185-693	L*
964		Mawson Rd	Meadows	House beside chemist shop		C
967		Mawson Rd	Meadows	Meadows Bridge abutments		lb
971		Michelmore	Meadows	Cottage with bake-oven		C

	St No	Street	Town	Place name	CT	Pope rec
		Lane				
972	(2)	Mill St	Meadows	Farm sheds	5334-230	C
973	(4)	Mill St	Meadows	fr Parker House	5471-104	L
974	(4)	Mill St	Meadows	Sheds (Parker, blacksmith)	5471-104	C
975	(5)	Mill St	Meadows	House		C
976	(7)	Mill St / Flaxman Rd	Meadows	House & original Luffman cottage	5077-641	L
977	(9)	Mill St	Meadows	fr Haddock cottage	5313-202	L
978	(12)	Mill St	Meadows	site of flour mill	5346-571	X

8.10.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;
- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.10.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.10.4 Definition of zone character & recommendations for new development

Table 3 summarises the typical characteristics of the significant and contributory places in the zone, as well as the corresponding appropriate and inappropriate features for new development within the zone.

Meadows HCZ – Table 3 Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	Meadows is stretched along the main road, with a small amount of side street development, particularly to Mill Street. The original allotments within the zone reflect its historic rural character.	Original allotments within the Zone should be preserved and not further subdivided.	Avoid further subdivision of current allotments. Avoid development adjacent to creek.
Building types, scale & massing	The buildings which line the main street of Meadows are single-storey shops and residences with some larger community buildings such as church and former dairy factory.	For over a hundred years, Meadows has been an important local commercial, industrial and community centre which still contains a relatively large proportion of buildings which were originally used for commercial or community purposes. We strongly recommend that any additional commercial or community development within the proposed Zone should recycle existing commercial/community/industrial buildings, rather than construct new ones. New developments and additions should be unobtrusive with a neutral visual effect. Residential development should comprise single-storey small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid large-scale commercial and industrial development. Avoid new development adjacent to creek. Avoid large-scale residential development and large-size buildings. Avoid joined units and attached development.
Setbacks	Most shops and former shops are located adjacent to pavement. The former dairy factory and Institute are also located adjacent to pavement, with most other community buildings being setback (including church, former Oddfellows' Hall & former Council Chamber). Residential development is generally set back behind a front garden.	New development should be set back further than existing significant (local or State) places. Infill development adjacent contributory buildings should have the same or greater setback as neighbouring contributory development.	Avoid uniform setbacks when introducing new groups of houses. Avoid development adjacent to creek.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Typical residential styles	The most important residential development in the Zone is mid to late 19 th -century with simple Colonial styling. Residences are either free-standing or attached to commercial buildings. There are no significant 'High Victorian' or Federation residences in the Zone. There are also some contributory 20 th -century houses including the art deco residence attached to the general store.	Free-standing single-storey small houses with simple detailing and proportions are preferable.	Avoid 2-storied or more. Avoid High Victorian or Federation detailing, or other elements of pastiche.
Wall structure	The majority of significant and contributory buildings are constructed of local stone or brick (some painted or rendered). There is also a significant timber-framed cottage on Mill Street, and several timber-framed sheds with some use of timber-slabs (partitions and cladding).	We recommend new development within the Zone be timber-framed with cgi cladding, or masonry with smooth-rendered finish to exterior walls.	Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	A few significant buildings are all stone, with most buildings having red-brick dressings.	For new masonry buildings, render to walls should cover dressings.	Avoid exposed (non-rendered) dressings on masonry buildings.
Openings	All windows and doors are timber with timber-frames. Most places have double-hung sash windows, with some fixed shop windows. The Anglican Church has lancet windows.	All windows and doors should be timber with timber frames. Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind. Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.	No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.
Roof forms	The church and some early shops have gable roofs, with most early commercial and residential buildings having hipped roofs. Additions to rear generally have skillion roofs. A significant roof form is the round roof on the former coach station.	Simple gable roofs with similar scale and proportions to existing comparable building types is most appropriate.	No gablets or finials. Avoid 'federation' decorative features. Avoid complex roof structures (eg. combinations of hipped and gabled roofs).

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Roof materials	Corrugated galvanised iron (cgi) Early buildings had timber shingles or slate roofs.	'Heritage' corrugated galvanised iron unpainted or in light to mid grey. Heritage cgi is preferred to Colorbond.	No tiles or tile-profile metal sheeting.
Gutters	O-gee and half-round gutters	Half-round gutters or small-profile o-gee gutters.	No fascia gutters or 'D-gutters' Avoid large-profile o-gee gutters on verandahs and small-scale cottages.
Verandahs	Most verandahs are raked, with some concave examples. Some later contributory buildings have bull-nose verandahs. Good examples of verandahs have timber posts with no detailing.	Verandahs with simple non-continuous raked cgi roofs with timber posts and no detailing.	No iron-lace or metal posts. Avoid unsymmetrical verandahs. Avoid gablets.
Chimneys	Typical chimneys are constructed of red-brick, most with coursing to top. Some are painted.	If required, new chimneys should be simple, rendered, and of similar proportions to early cottages.	Avoid large-scale chimneys.
Street furniture	Simple metal street signs. Street lights are unadorned late-C20 'swan-neck' tubular steel metal lights.	Street-signs and current swan-neck metal street lights should remain as existing. Lighting of significant buildings, such as Anglican church and former Oddfellows' Hall would be appropriate. Public areas such as Battunga Park could also be lit. Public seating should be simple timber benches.	Avoid large-scale obtrusive street lights. Avoid ornate styles of interpretative signs, street signs or seating.
Footpaths & verges	Footpaths along Mawson Road are a combination of bitumen, and grass and gravel, with some areas of concrete kerbing and guttering.	Where possible, retain the simple, rural character of roadsides. Where necessary, the use of concrete kerbing and guttering, and bitumen paths is preferable to more urban use of paving and concrete slabs.	Avoid using modern brick paving.
Fencing & gates	A significant feature of Meadows is the lack of fencing along the main street. The buildings relate well to the street	Where possible, all fencing facing onto street should be minimal and low.	Avoid ornate or modern picket-fence styles. No bluestone, tubular-

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
	<p>and to each other.</p> <p>Historically, fencing in Meadows has been relatively unobtrusive. Many places in the Zone have no fencing, especially along the main street. In other cases, fencing is minimal and low.</p> <p>The main forms of contributory fencing in the zone are:</p> <ul style="list-style-type: none"> • timber post-and-rails (historical) • timber post and wire • metal post & rail or cyclone mesh • simple picket fences* • stone walls <p>*19th-century picket fences were simple with flat or triangular-topped pickets of equal heights.</p>	<p>Where fencing is required, preferred styles are:</p> <ul style="list-style-type: none"> • square timber posts with wire cyclone mesh infill • metal post and rail fences (see photo of memorial garden below) • low hedges, especially to side streets • simple pickets <p>Preferred fencing for rear and side boundaries should be corrugated-galvanised iron (not other-profile metal sheeting).</p>	<p>steel, cast-iron lace, exposed modern brick, masonry pillars or brush fences.</p>
Driveways	There are few driveways within the Zone. Existing driveways are generally gravel	Prefer gravel drives. Gravel should preferably be sand-stone-coloured.	Avoid red gravel, & modern paving.
Carports, sheds & outbuildings	There are few existing garages or carports in the Zone and all outbuildings are towards the rear.	New outbuildings should be as unobtrusive as possible. Sheds and carports should be located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street.
Gardens	Most gardens are informal with lawns, shrubs & trees.	Garden beds which adjoin significant fabric should be planted away from the fabric of significant buildings	<p>Avoid plants and structures which break the dialogue between significant / contributory buildings and street.</p> <p>Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.</p>

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Trees	<p>There are several significant eucalypts in the zone, most of which are described in table 4 below.</p> <p>There is also a contributory avenue of deciduous street trees, with many gaps.</p>	<p>Existing remnant gums and indigenous plants should be retained where possible, unless they pose a threat to the safety of people or significant fabric.</p> <p>Where possible, retain street trees and add similar trees in gaps. Where there is too little space for existing tree species, we suggest flowering cherries or similar small-scale flowering street trees.</p>	Avoid planting trees near significant fabric.



View of Meadows in 1866, note fencing in foreground [Courtesy of MLSA, B21017]



Anglican church in 1933, note fencing [Courtesy of MLSA, B8884]



Anglican church



Anglican cemetery



Meadows Post Office in 1902, note fencing & roadside [Courtesy of MLSA, B21018]



War memorial, note simple metal fencing & significant trees



House & wall, 51 Mawson Road



Residence attached to shop, 74 Mawson Road



fr Haddock cottage, Mill Road, note remnant timber fencing

8.10.5 Landscape character

Meadow's creeks, surrounding farmland and several parks provide a strong sense of community and a rural flavour.

Meadows HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Creek	Creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek	Topography	<ul style="list-style-type: none"> • Maintain creek area • Where necessary, revegetate along creek with appropriate indigenous species
T2	Battunga Park, Mawson Rd	Community reserve with some mature trees and landscaping	Topography & Landscape	<ul style="list-style-type: none"> • Retain and maintain community park

No.	Location	Description	Category	Recommendations
T3	School playground & oval	Open space with some mature trees and garden areas	Topography	<ul style="list-style-type: none"> • Retain as community space
T4	Mawson Rd / Mill Street	War memorial garden	Topography	<ul style="list-style-type: none"> • Retain community space
T5	Mill Street / Mawson Rd, paddock to S	Open paddock with significant mature eucalypts	Topography & Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T6	Mawson Rd, opposite no. 13 (Hall)	Row of mature eucalypts	Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T7	43 Mawson Rd	Garden comprising mature trees	Significant trees & topography	<ul style="list-style-type: none"> • Retain and maintain significant trees • Avoid subdivision of significant garden



Battunga Park (T2)



Battunga Park (T2)



Battunga Park (T2)



Battunga Park (T2)



War Memorial reserve, Mawson Road / Mill Street (T4)



fr Parker house, Mill St, with significant tree (T5) in foreground, & backdrop hill (V4)



Mill St sheds, significant tree (T5) & backdrop hill (V4)



Paddock on Mill Street (T5) with V3 in background



View of Hall (c13 Mawson Rd) with row of trees to LHS (T6)



Garden of 45 Mawson Street (T7)

8.10.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Meadows HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	Mawson Rd	NW to N	View of meadowland with scattered eucalypts	<ul style="list-style-type: none"> • Avoid subdivision and development of this significant landscape. • Retain and maintain existing mature indigenous trees

View	Position for viewing	Direction of view	Description of view	Recommendations
V2	Mawson Rd	E	View of bridge and creek flats with scattered indigenous eucalypts	<ul style="list-style-type: none"> • Avoid subdivision and development of this significant landscape. • Retain and maintain existing mature indigenous trees • Where possible, revegetate degraded areas with appropriate indigenous species, especially planting trees and understorey along creek.
V3	Mill Street	SE	Hill & Cemetery plantings	<ul style="list-style-type: none"> • Avoid subdivision and development of this significant landscape. • Retain and maintain existing mature indigenous trees. • Where possible, revegetate degraded areas with appropriate species.
V4	Mill St / Mawson Rd	S	Backdrop of pastoral rolling hills with significant mature eucalypts (extension of T5)	<ul style="list-style-type: none"> • Avoid subdivision and development of this significant landscape. • Retain and maintain existing mature indigenous trees.



Looking W from Kondoparinga Rd towards V1



Looking S along Kondoparinga Rd towards cemetery hill (V3)



View to cemetery from Mill St (V3)



82 Mawson Rd with V3 behind



Looking east from the east end of town (V2)

8.10.7 Sense of arrival

The significant entry points are described in the following table.

Meadows HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Mawson Rd	from W	House and slab barn at no. 1	Approach to hotel	Significant and contributory buildings to either side of Mawson Road
EP2	Battunga Rd	from N	Creek and Battunga Park	Creek and contributory cottages	Hotel
EP3	Kondoparinga Rd	from N	Methodist manse	School & oval	Contributory shop and house at 68 & 70 Mawson Road
EP4	Mawson Rd	from E	Settlers' cottage at no. 82 Mawson Rd	–	Significant and contributory buildings to either side of Mawson Road



Timber-slab barn at (1) Mawson Rd (EP1)

8.11 Mount Barker, Druids Ave Historic (Conservation) Zone

8.11.1 Definition of zone

The Druids Ave zone includes the significant tree-lined residential street of Druids Avenue, with important adjacent streets including Pridmore Tce, Cameron St, Stephen St, and parts of Morphett St, Hutchinson St and Adelaide Road. The proposed Historic (Conservation) Zone is defined by figure 8.11 on the following page.



Druids Ave, looking NE from Stephens St



Mill precinct, Cameron Rd



Figure 8.11 *proposed Mount Barker, Druids Ave Historic (Conservation) Zone*

8.11.2 Historical summary

The Druids Ave precinct is notable for two main reasons. It is the location of the highly significant Dunn mill and the many cottages associated with it, and it is the location of some of Mount Barker's most significant residential development. The latter ranges from larger houses such as Dunn's mansion the Laurels, Dumas house, St Leonards and Oakfield, to small workers' cottages such as the row at 15 Druids Avenue, and several along McLaren St. The Druids Avenue precinct is also the location of the significant Ramsay Foundry, the former Globe Hotel and Teakle's store, and the former school on Adelaide Road.



1851 map showing top of Mount Barker township, Mortlock Library of South Australia (C204)

Mount Barker, Druids Ave H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Early survey	The streets which form this precinct were included in the original survey of Mount Barker, and were settled within the town's first few years.	<ul style="list-style-type: none"> • Original subdivision plan. • A significant historic feature of the precinct is the avenue of oak trees which helps to define Druids Ave
Industry	The most significant early stone building in Mount Barker was John Dunn's flour mill, which was completed in 1844. Another significant local industry which was established in this locality was Ramsay's foundry.	<ul style="list-style-type: none"> • fr Dunn's flour mill, 14 Cameron St • Dunn's Mill Cottage, 16 Cameron St • Mill cottages: Druids Ave, McLaren St, etc. • Ramsay foundry, Pridmore Tce
Residential development	The zone includes a wide variety of housing, ranging from large and gracious mansions, to small workers' cottages. The residences date from the 1840s.	<ul style="list-style-type: none"> • Mill Cottage, 16 Cameron St • Oakfield, 43 Adelaide Rd • The Laurels, 9 Pridmore Tce • Thornton, 1 Hutchinson St • St Leonard's, 7 Druids Ave • Dumas house, 11 Druids Ave • Row cottages, 15 Druids Ave • Row cottages, 11-15 Morphett St • Row cottages, 28-30 Adelaide Rd • Workers' cottages on McLaren Street • Houses on Druids Ave, Pridmore Tce, Cameron Rd, etc.

Theme	Description	Significant places associated with theme
Early commerce	Soon after the 1844 erection of Dunn's mill, a three-roomed slab hut was constructed near the mill, a room of which was used for the town's second shop and for the town's earliest Methodist services. An earlier shop had been established at Gloag's Inn, also on Cameron Street. Later commercial buildings which survive in this predominantly residential zone are listed in the right-hand column.	<ul style="list-style-type: none"> • former Teakle's store • former Globe Hotel (c1860)

8.11.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Mount Barker, Druids Ave H(C)Z – Table 2 Significant & contrib. places in the zone

	St No	Street	Town	Place name	CT	Pope rec
1023	28-30	Adelaide Rd	Mount Barker	Cottages, 28-30 Adelaide Rd	5120-242	L*
1024	36	Adelaide Rd	Mount Barker	cottage	5485-478	X
1025	38	Adelaide Rd	Mount Barker	cottage	5523-730	X
1026	40	Adelaide Rd	Mount Barker	former school house	5550-381	X
1027	42	Adelaide Rd	Mount Barker	fr primary school	5550-381	L*
1028	43	Adelaide Rd	Mount Barker	Oakfield, fr McFarlane residence	5859-811	L*
1029	46	Adelaide Rd	Mount Barker	Brick house	2484-105	C
1030	50	Adelaide Rd	Mount Barker	House with stone façade	5430-687	C
1031	(54)	Adelaide Rd	Mount Barker	House		C
1033		Adelaide Rd / Pridmore Tce	Mount Barker	VR pillar box	Road Reserve	L
1063	(5)	Cameron St	Mount Barker	House, 5 Cameron St	5655-382	L
1064	9	Cameron St	Mount Barker	Edwardian house		C
1065	11	Cameron St	Mount Barker	Cottage		C
1066	13	Cameron St	Mount Barker	Edwardian house		C
1067	14	Cameron St	Mount Barker	fr Dunn Mill	5472-370	S
1068	15	Cameron St	Mount Barker	Elm cottage		C
1069	16	Cameron St	Mount Barker	Mill Cottage	5070-128	S
1070	18-18a	Cameron St	Mount Barker	Nephelist House	5095-808/9	L*
1071	19	Cameron St	Mount Barker	Edwardian house		C
1073	23	Cameron St	Mount Barker	Edwardian house		C
1074	(24)	Cameron St	Mount Barker	Von Doussa Clubhouse	624-162	L
1075	25	Cameron St	Mount Barker	Rose Meryon Cottage	5239-295	L
1076	27	Cameron St	Mount Barker	Applewood		C
1102	1	Druids Ave	Mount Barker	House		C
1103	3	Druids Ave	Mount Barker	House		C

	St No	Street	Town	Place name	CT	Pope rec
1104	5	Druids Ave	Mount Barker	House		C
1106	7	Druids Ave	Mount Barker	House - St Leonards	5586-288	L
1107	7a	Druids Ave	Mount Barker	fr Teakle's corner store	5104-170	L*
1108	11	Druids Ave	Mount Barker	Dumas House, site of first PM chapel	5520-13	L
1109	13	Druids Ave	Mount Barker	Workers' cottage	5161-577	L
1110	15	Druids Ave	Mount Barker	Salem Cottages	5027-454/460	L
1111		Druids Ave	Mount Barker	Avenue of oak trees	road reserve	L*
1239	1	Hutchinson St	Mount Barker	Thornton -F1257 house, fence & front garden	5700-321	L
1240	(5)	Hutchinson St	Mount Barker	House		C
1241	(7)	Hutchinson St	Mount Barker	House		C
1242	10	Hutchinson St	Mount Barker	House		C
1243	12	Hutchinson St	Mount Barker	House		C
1244	14	Hutchinson St	Mount Barker	House		C
1298	1	McLaren St	Mount Barker	Cottage		C
1299	3	McLaren St	Mount Barker	Cottage		C
1300	5	McLaren St	Mount Barker	Mill cottage		C
1301	7	McLaren St	Mount Barker	Mill cottage (Dunn), 7 McLaren St	5460-713	L
1302	8	McLaren St	Mount Barker	Mill cottage (Dunn), 8 McLaren St	5832-551	L
1303	9	McLaren St	Mount Barker	Mill cottage to rear (Dunn)		C
1313	3	Morphett St	Mount Barker	House		C
1314	5	Morphett St	Mount Barker	Kernott House	5259-941	L
1315	11-13	Morphett St	Mount Barker	Attached Cottages, 11-13 Morphett St	5357-611	SD
1316	19	Morphett St	Mount Barker	Office, fr shop		C
1333	1	Pridmore Tce	Mount Barker	House		C
1334	2	Pridmore Tce	Mount Barker	House		C
1335	3	Pridmore Tce	Mount Barker	House		C
1336	4	Pridmore Tce	Mount Barker	House		C
1337	5-7	Pridmore Tce	Mount Barker	fr Ramsay Foundry & outbuilding	5546-669	L*
1338	6	Pridmore Tce	Mount Barker	fr Globe Hotel & slate rainwater tank	5153-497	L*
1339	8	Pridmore Tce	Mount Barker	House		C
1340	9	Pridmore Tce	Mount Barker	The Laurels - house, cottage & gates	5760-904	L*
1354	(1a)	Stephen St	Mount Barker	House, fr stables of St Leonards		C
1355	2	Stephen St	Mount Barker	House		C
1356	3	Stephen St	Mount Barker	House		C
1357	4	Stephen St	Mount Barker	House		C
1358	5	Stephen St	Mount Barker	House		C
1359	6	Stephen St	Mount Barker	House & wall, 6 Stephen St	5059-985	L
1360	7	Stephen St	Mount Barker	House		C
1361	8	Stephen St	Mount Barker	House		C
1362	11	Stephen St	Mount Barker	Barn to rear (timber-framed)		C
1387		Walcom Pl	Mount Barker	Erin Lodge		C

8.11.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;
- be protected;
- be conserved (where possible);

- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.11.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.11.4 Definition of zone character & recommendations for new development

The typical characteristics of the significant and contributory places in the zone, as well as the corresponding desirable and non-desirable features of new development within the zone, are summarised in table 3.

Mount Barker, Druids Ave HCZ – Table 3 Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	<p>The 1851 and 1866 maps of Mount Barker finished at 'Dutton Tce' (now Druids Ave), however, the Pridmore Tce area was developed from 1852 when Ramsay's foundry was established. Pridmore Tce itself was originally called Commercial St and was a main entrance to the town, leading from the Adelaide Rd to the market place and beyond. The original market place was on the corner of Pridmore and Druids Ave (now St Leonard's). The original subdivisions in the zone are those south of Dutton Place (Druids Ave – see map in section 8.11.2 above). The current subdivisions in the northern section of the zone includes land owned by Dunn & Ramsay, & are also of historical significance & associated with the early development of this important area.</p>	<p>Allotments within the zone should not be further subdivided.</p> <p>It is preferable that all Mount Barker's original 1851 allotments (including those outside zones) are not further subdivided.</p> <p>Retain surviving original street names.</p>	<p>Avoid further subdivision, especially along the creek.</p> <p>Avoid development on allotments adjacent to creek.</p>

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Building types	Although now a predominantly residential zone, this was historically a mixed use area. It included several of the town's most significant industrial buildings, some commercial development, some prominent residences and a high proportion of workers' housing. The scale of the buildings ranges from some large two-storey houses and a hotel, a substantial mill, some attached workers' housing and a large number of small-scale cottages.	Residential development comprising small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid commercial and industrial development.
Scale & massing	Some of the most significant buildings are large-scale (such as the former mill and the Laurels), while there are also a large number of small-scale and -size cottages.	Single-storey, small-scale, small-size separate modules. The scale and massing of 7 McLaren St is an excellent guide to appropriate scale for this area.	Avoid large-scale development and large-size buildings. Avoid joined units and attached development.
Typical residential styles	Small-scale cottages with symmetrical fronts, central front doors flanked by rectangular windows.	Free-standing single-storey small symmetrical houses are preferable.	Avoid 2-storied or more, avoid pastiche.
Wall structure	Early local stone with some brick. Some are rendered.	Smooth-rendered finish to exterior walls	Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	Generally brick dressings with some significant early buildings having stone dressings.	Render to walls should cover dressings.	Avoid exposed (non-rendered) dressings.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Openings	<p>All windows and doors are timber with timber-frames.</p> <p>Most buildings have double-hung sash windows (some multi-paned), with some having casement windows.</p>	<p>All windows and doors should be timber with timber frames.</p> <p>Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind.</p> <p>Proportions and dimensions of windows and doors should reflect existing neighbouring contributory & significant (C&S) places.</p>	<p>No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.</p>
Roof forms	<p>Significant cottages have gable roofs with skillion additions to rear. There are also some buildings with hipped roofs.</p>	<p>Gable roofs with skillion additions to rear are most appropriate.</p>	<p>No gablets or finials.</p> <p>Avoid 'federation' decorative features.</p> <p>Avoid complex roof structures (eg. combinations of hipped and gabled roofs).</p>
Roof materials	<p>Almost all significant buildings have corrugated galvanised iron (cgi) roofs. There is also a slate roof at the Laurels.</p>	<p>'Heritage' corrugated galvanised iron in light to mid grey.</p> <p>Heritage cgi is preferred to Colorbond.</p>	<p>No tiles or tile-profile metal sheeting.</p>
Gutters	<p>O-gee and half-round gutters</p>	<p>Half-round gutters or small-profile o-gee gutters.</p>	<p>No fascia gutters or 'D-gutters'</p> <p>Avoid large-profile o-gee gutters on verandahs and small-scale cottages.</p>
Verandahs	<p>Most verandahs are raked, with some concave examples. Most verandahs are simple non-continuous examples.</p>	<p>Verandahs with simple non-continuous raked cgi roofs with timber posts and no detailing.</p>	<p>No iron-lace or iron posts</p> <p>Avoid asymmetrical verandahs</p>
Chimneys	<p>Most chimneys are red-brick with two rows of coursing near top.</p>	<p>If required, chimneys should be simple and of similar proportions to early cottages.</p>	<p>Avoid large-scale chimneys.</p>
Setbacks	<p>Many early cottages and buildings have verandahs fronting onto the street, with others being setback behind gardens.</p>	<p>New development should have the same or greater setback as neighbouring Significant & contributory places.</p>	<p>Avoid uniform setbacks when introducing new groups of houses.</p>

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Street furniture	Stobie poles with occasional attached lights. Simple metal street signs.	If adding lighting, interpretative signs or street-signs, see <i>Gawler Street Conservation Management Plan</i> for examples.	Avoid ornate styles of street lighting, interpretative signs, street signs or seating.
Footpaths & verges	Footpaths and verges are generally bitumen with some lawn and gravel, and concrete kerbing and guttering.	Where possible, maintain current verges & footpaths.	Avoid using modern brick paving.
Fencing & gates	<p>Many places have no fencing. In other cases, fencing is generally minimal and low. The buildings relate well to the street and to each other.</p> <p>Contributory fence styles in the zone include:</p> <ul style="list-style-type: none"> • hedges • stone walls • timber picket fences (eg. 13 Druids Ave). 	<p>Where possible, all fencing facing onto street should be minimal and low. Preferred fences are:</p> <ul style="list-style-type: none"> • hedges • stone walls • timber picket fences (eg. 13 Druids Ave). <p>Other appropriate options are timber posts, or timber posts with wire mesh infill.</p> <p>Preferred fencing for rear and side boundaries is hedges, cyclone mesh with creepers, etc. If using metal sheeting, prefer corrugated-galvanised iron (not other-profile metal sheeting).</p>	<p>Avoid ornate or modern picket-fence styles.</p> <p>No bluestone, tubular-steel, cast-iron lace, exposed modern brick, masonry pillars or brush fences.</p>
Gardens	There are few front gardens in the zone.	–	<p>Avoid plants and structures which break the dialogue between significant / contributory buildings and street.</p> <p>Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.</p>
Driveways	Few of the early cottages have driveways. Those that do generally have gravel or compressed-earth driveways.	Prefer gravel or compressed-earth drives. Gravel should preferably be sand-stone-coloured.	Avoid modern paving.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Carports, sheds & outbuildings	Few of the early cottages have garages or carports and outbuildings are generally to the side or rear.	New outbuildings should be as unobtrusive as possible. Sheds and carports should be located behind or setback from the front of the building.	No new carports or sheds to be located between buildings and street.
Trees	Significant and contributory trees are listed in table 4. The avenue of mature trees along Druids Avenue is of outstanding significance to the zone (see local heritage recommendations, in part 5 of this report)	Existing mature trees should be retained where possible, unless they pose a threat to the safety of people or significant fabric.	Avoid planting any trees near significant fabric.
Other features of zone	The creek is a significant feature of the zone (see following section).		



fr Teakles Store, 7a Druids Avenue



Dumas House, 11 Druids Avenue



Mill Lane



Salem Terrace, 15 Druids Ave



13 Druids Avenue



View along Druids Avenue from no. 13, note low picket fence



St Leonards, 7 Druids Avenue



View of 1-3 Druids Avenue



View of 7 McLaren St – note form and scale



6 Stephens Street



View of Druids Avenue & 9 Stephens Street



Looking along Stephens Street from no. 17 towards Druids Ave

8.11.5 Landscape character

The major landscape focus of the zone is the Avenue of oaks along Druids Avenue, with other significant features including the Mount Barker Creek behind the mill, and several special trees & gardens. These are defined and described in the following table.

Mount Barker, Druids Ave HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	The Laurels, 9 Pridmore Tce	Remnant mature trees and hedges in garden of the Laurels	Landscape / Significant trees	<ul style="list-style-type: none"> • Retain mature trees
T2	Mount Barker Creek, including creek-side vegetation	Creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek	Topography & landscape	<ul style="list-style-type: none"> • Continue to maintain creek area

No.	Location	Description	Category	Recommendations
T3	Druids Avenue	Avenue of oak trees (see also local heritage recommendations)	Significant trees	<ul style="list-style-type: none"> • Maintain and protect historic avenue of oak trees
T4	adj. 43 Adelaide Road	Bunya pine, mature oak and pair of mature oaks adjacent pathway, formerly part of Oakfield	Significant trees	<ul style="list-style-type: none"> • Where possible, retain and protect Bunya pine. • Retain and protect oaks, including appropriate pruning.
T5	Adelaide Road	Remains of historic avenue of trees (originally oaks and elms)	Significant trees	<ul style="list-style-type: none"> • Where possible, maintain and protect existing mature trees, particularly oak tree at no. 43 . • Oak tree at no. 43 requires pruning. Oak trees should be retained outside Oakfield, and where existing trees have died, replace with similar species. • Along parts of street other than Oakfield (43 Adelaide St), reinstate an avenue of appropriate deciduous trees, suggest plane trees.



Entrance to The Laurels, 9 Pridmore Tce (T1)



Gardens at the Laurels, 9 Pridmore Tce (T1)



Mount Barker Creek (T2)



Mount Barker Creek (T2)



Mount Barker Creek (T2)



Mount Barker Creek (T2)



Mount Barker Creek (T2)



Mount Barker Creek (T2)



Druids Avenue – looking E from Walker St (T3)



Druids Avenue – looking W from Stephen St (T3)



Druids Avenue – looking E from Stephen St (T3)



Oakfield House with significant tree on Adelaide Rd to fore, & bunya pine in background (T4, T5 & EP5)

8.11.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Mount Barker, Druids Ave HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	Pridmore Tce	NE	Backdrop of trees beyond the Laurels	<ul style="list-style-type: none"> • Retain & maintain trees
V2	Cameron St	NE	Distant views of gum-lined ridge	<ul style="list-style-type: none"> • Retain & maintain trees • Avoid subdivision and development along ridge • Revegetate where necessary
V3	Cameron St	SE	View across creek flats including scattered trees	<ul style="list-style-type: none"> • Retain & maintain trees • Revegetate where necessary
V4	Cameron St creek crossing	NW	Looking along creek with view through flanking vegetation to distant gums	<ul style="list-style-type: none"> • Retain & maintain mature eucalypts • Retain and maintain creek & creekside revegetation creek • Remove weeds & pine seedlings



Oval & Caravan Park showing creek-side vegetation, off Cameron Rd (T2 & V3)



Mount Barker Creek (T2 & V3)



Mount Barker Creek (T2 & V4)

8.11.7 Sense of arrival

Mount Barker, Druids Ave HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Adelaide Rd into Pridmore Tce	from NW	fr Ramsay foundry & Laurels	Substantial house at 2 Pridmore Tce	fr Globe Inn, 6 Pridmore Tce
EP2	Cameron St	from NE	creek	creek & hedge of no. 27	Landmark houses at 23 & 25 Cameron St
EP3	Cameron St	from S	–	fr Dunn's Mill and Mill Cottage	Druids Avenue corner & Von Doussa Clubhouse
EP4	Druids Ave	from any direction	Row of oak trees	Row of oak trees	Avenue of oak trees
EP5	Adelaide Rd	from S	Oakfield house, garden, bunya pine & significant Adelaide Rd tree (T4&5)	Row of cottages at 42 Adelaide Rd	fr school and entrance to Druids Avenue



fr Globe Hotel, 6 Pridmore Tce (EP1)



Entry from NE end of Cameron Street (EP2)



Cameron Street, EP2



fr Dunn's mill, 14 Cameron Street (EP3)



Avenue of oaks, Druids Avenue (T3 & EP4)



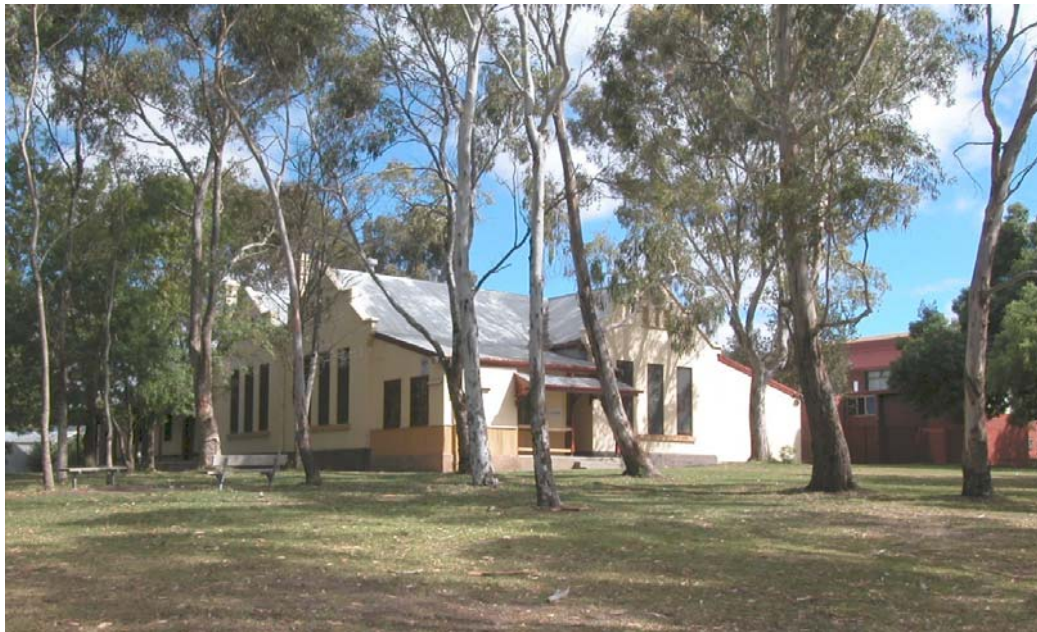
Oakfield House with significant bunya pine to RHS (T4 & EP5)

8.12 Mount Barker Exhibition Historic (Conservation) Zone

8.12.1 Definition of zone

The Exhibition zone is centred around the important early showgrounds of Mount Barker and includes several important memorials, as well as several streets of later 19th century residential development, namely Stephenson Rd, Alexandrina Rd, Exhibition St and the Albert and Hampden Roads.

The proposed Historic (Conservation) Zone is defined by figure 8.12 on the following page.



Original high school building, Stephenson St



Barker Memorial, Stephenson Rd

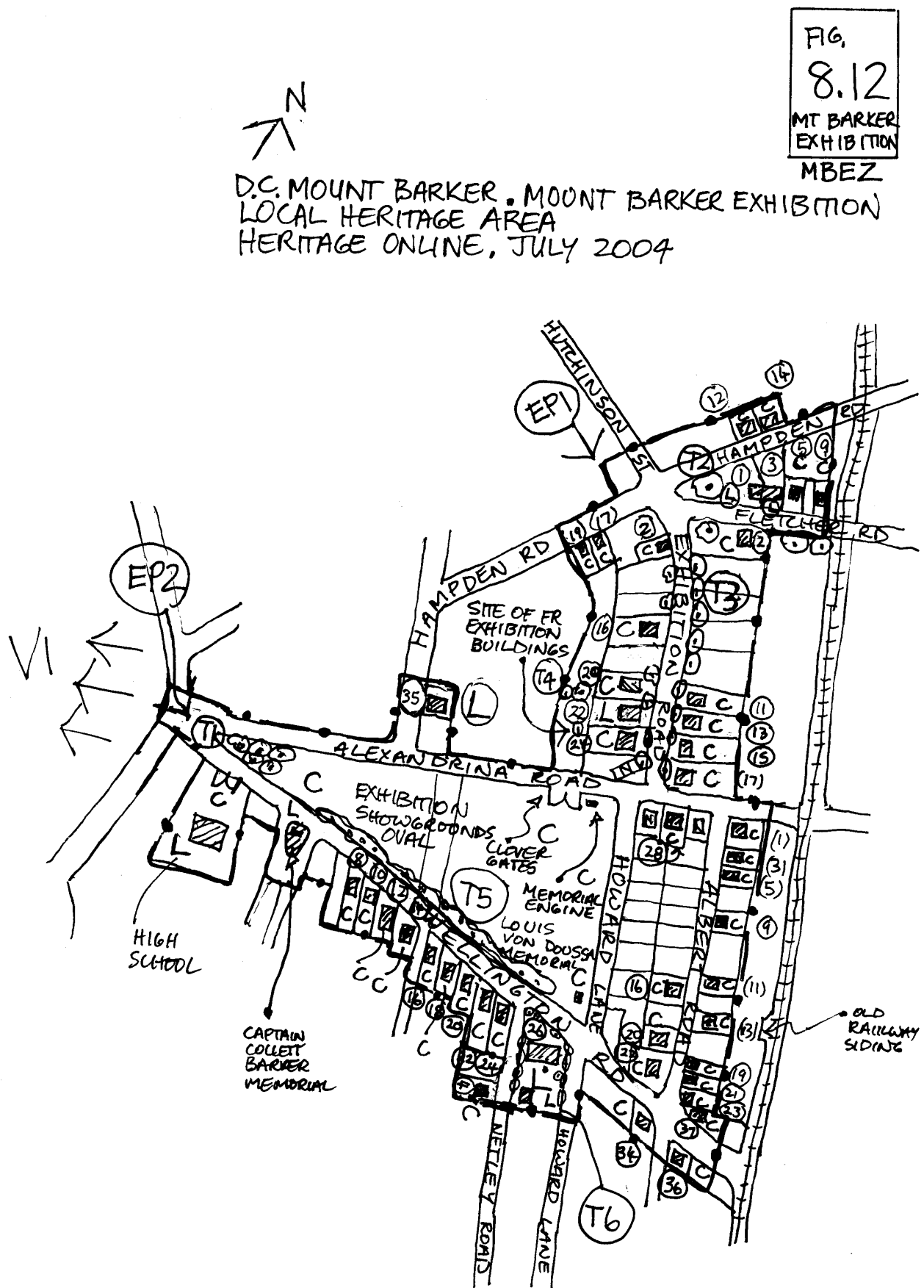
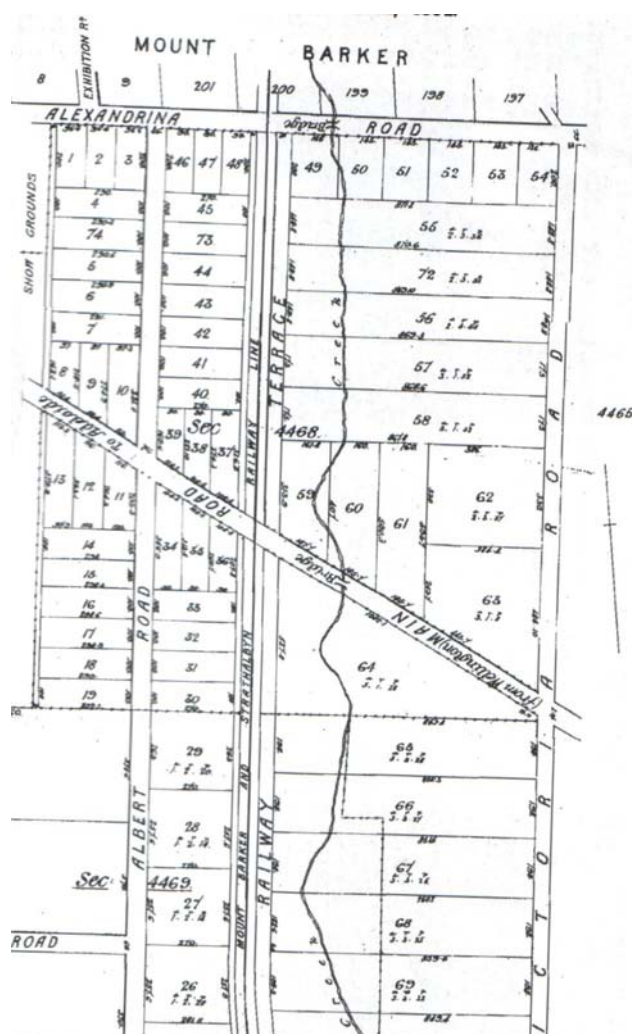


Figure 8.12 proposed Mount Barker Exhibition Historic (Conservation) Zone

8.12.2 Historical summary

The focus of this zone is a public space which has significant associations with the late 19th and early 20th century history and development of Mount Barker. The large triangular-shaped showgrounds once housed the impressive show pavilion (now gone), and are now the location for many important public memorials. This section of Mount Barker is flanked by several streets of high-quality residential development, and also includes the original high school building and an important stand of indigenous trees. Much of this zone was included in the 1884 subdivision plan of 'Mount Barker South'. This land was then auctioned by Henning, Bruce & Aldridge for John Paltridge on 12 January 1884.



National Trust of SA 2001, *Then & Now* – photographic Mount Barker, p 96

Mount Barker Exhibition H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Community developments	The Exhibition grounds which form the heart of this zone have played a significant role in the lives of thousands of residents of Mt Barker and the surrounding area. The grounds have also been chosen as the site for several	<ul style="list-style-type: none"> • Site of original show pavilion • Oval and showgrounds including two pairs of entrance gates • Barker Memorial • Von Doussa Memorial

Theme	Description	Significant places associated with theme
	significant community memorials.	
Residential development	The most significant house is the Netley estate at 26 Wellington Road. There are also a few early cottages in the zone. The rest of the area was developed in the late 19 th and early 20 th centuries, and contains a variety of quality residential development with good integrity.	<ul style="list-style-type: none"> • Netley – house, stables, gardens & gardener's hut • Earlier cottages at 12 Hampden Rd & 13 & 15 Exhibition Rd • housing flanking showgrounds and along Hampden, Exhibition and Alberts Roads
Education	Mount Barker High School is located within this zone, and is significant as one of the earliest rural high schools to be established in South Australia.	<ul style="list-style-type: none"> • Original high school building • War memorial gates

8.12.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Mount Barker Exhibition H(C)Z – Table 2 Significant & contrib. places in the zone

	St No	Street	Town	Place name	CT	Pope rec
1035	1	Albert Rd	Mount Barker	House, fr shop		C
1036	3	Albert Rd	Mount Barker	House		C
1037	5	Albert Rd	Mount Barker	House		C
1038	9	Albert Rd	Mount Barker	House		C
1039	11	Albert Rd	Mount Barker	House		C
1040	13	Albert Rd	Mount Barker	House		C
1041	(16)	Albert Rd	Mount Barker	House		C
1042	19	Albert Rd	Mount Barker	House		C
1043	(20)	Albert Rd	Mount Barker	House		C
1044	21	Albert Rd	Mount Barker	House		C
1045	22	Albert Rd	Mount Barker	House		C
1046	23	Albert Rd	Mount Barker	House		C
1054	28	Alexandrina Rd	Mount Barker	House		C
1055		Alexandrina Rd	Mount Barker	Memorial Engine		C
1056		Alexandrina Rd	Mount Barker	Clover Memorial Gates		C
1116	(2)	Exhibition Rd	Mount Barker	House		C
1117	(10)	Exhibition Rd	Mount Barker	House		C
1118	11	Exhibition Rd	Mount Barker	Cottage		C
1119	13	Exhibition Rd	Mount Barker	Cottage		C
1120	15	Exhibition Rd	Mount Barker	Cottage		C
1121	(17)	Exhibition Rd	Mount Barker	House		C

	St No	Street	Town	Place name	CT	Pope rec
1122	20	Exhibition Rd	Mount Barker	House		C
1123	24	Exhibition Rd	Mount Barker	House		C
1124	22	Exhibition Rd	Mount Barker	House		C
1125		Exhibition Rd	Mount Barker	Avenue of street trees		C
1129	(1)	Fletcher Rd	Mount Barker	Tree		C
1130	1	Fletcher Rd	Mount Barker	Attached cottage, 1 Fletcher Rd	5152-336	L
1131	2	Fletcher Rd	Mount Barker	House		C
1132	3	Fletcher Rd	Mount Barker	Attached cottage, 3 Fletcher Rd	5736-616	L
1133	5	Fletcher Rd	Mount Barker	House		C
1134	9	Fletcher Rd	Mount Barker	House		C
1207	12	Hampden Rd	Mount Barker	Cottage, 12 Hampden Rd	5075-497	L
1208	14	Hampden Rd	Mount Barker	Cottage		C
1210	(17)	Hampden Rd	Mount Barker	House		C
1211	(19)	Hampden Rd	Mount Barker	House		C
1212	(33)	Hampden Rd	Mount Barker	Lutheran Primary School & Church		N
1213	39	Hampden Rd	Mount Barker	House, 39 Hampden Rd	5798-890	L
1214		Hampton Rd / Exhibition St	Mount Barker	VR pillar box		X
1233		Howard Lane	Mount Barker	Von Doussa Memorial		C
1365	1	Stephenson Rd	Mount Barker	Original High School & War Memorial gates	5533-167 885-48	L
1366		Stephenson Rd	Mount Barker	Barker Memorial	5539-480	L
1367	8	Stephenson Rd	Mount Barker	House		C
1368	10	Stephenson Rd	Mount Barker	House		C
1369	12	Stephenson Rd	Mount Barker	House		C
1370	14	Stephenson Rd	Mount Barker	House		C
1371	16	Stephenson Rd	Mount Barker	House		C
1372	18	Stephenson Rd	Mount Barker	House		C
1373	20	Stephenson Rd	Mount Barker	House		C
1374	22	Stephenson Rd	Mount Barker	House		C
1375	24	Stephenson Rd	Mount Barker	House		C
1377	(34)	Stephenson Rd	Mount Barker	House		C
1378	36	Stephenson Rd	Mount Barker	House		C
1379	37	Stephenson Rd	Mount Barker	House		C
1389	26	Wellington Rd	Mount Barker	Netley - house, stables & hut	5608-403	L*

8.12.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

- be retained;

- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.12.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.12.4 Definition of zone character & recommendations for new development


The typical characteristics of the significant and contributory places in the zone, as well as the corresponding desirable and non-desirable features of new development within the zone, are summarised in table 3.


Mount Barker Exhibition HCZ – Table 3

Character assessment & analysis

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Subdivision	The subdivision along Exhibition Road and Wellington Roads was completed by 1884 (see plan in section 8.12.2 above).	Current allotments within the Zone should preferably not be subdivided.	Avoid further subdivision of current allotments. Avoid development of significant community open spaces.
Building types, scale & massing	This is a primarily residential zone with some community and recreational development around the exhibition grounds and high school, including various significant memorials. Residential buildings are all single-storey houses. With the exception of 1-3 Fletcher Street, they are also all free-standing houses.	This zone should remain as a primarily residential zone, with the possible addition of a small local shop and/or bed-and-breakfast businesses. There could also be a museum or interpretative centre at the Exhibition Grounds. New developments and additions should be unobtrusive with a neutral visual effect. New residential development should comprise single-storey small-scale separate residential modules with small-scale domestic outbuildings to rear of block.	Avoid large-scale commercial and industrial development. Avoid large-scale residential development and large-size buildings. Avoid joined units and attached development.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Setbacks	Apart from 1 Albert Rd, all residences are set back behind gardens.	New development should be set back further than adjacent local heritage places. Infill development adjacent contributory buildings should have the same or greater set back as neighbouring contributory development.	Avoid uniform setbacks when introducing new groups of houses.
Typical residential styles	Most of the residential development in the Zone is late 19 th -century with simple Colonial or Victorian styling. Purpose-built residences are all free-standing. There are also some contributory early 20 th -century residences in the zone.	Free-standing single-storey houses with simple detailing and proportions are preferable.	Avoid 2-storied or more. Avoid pastiche.
Wall structure	The majority of significant and contributory buildings are constructed of stone or brick (some painted or rendered).	We recommend new development within the Zone have smooth-rendered finish to exterior walls.	Avoid exposed modern materials such as modern bricks, or exposed brick/stone veneer.
Dressings	Buildings generally have red-brick dressings (some rendered or painted).	For new masonry buildings, render to walls should cover dressings.	Avoid exposed (non-rendered) dressings on masonry buildings.
Openings	All windows and doors are timber with timber-frames. Most places have double-hung sash windows with a few casement windows.	All windows and doors should be timber with timber frames. Flyscreens should have simple timber frames and can be unobtrusively reinforced from behind. Proportions and dimensions of windows and doors should reflect existing contributory & significant (C&S) places.	No metal-framed windows. Where possible, avoid adding 'roller-shutters' or other modern window fittings to significant or contributory buildings.
Roof forms	Most buildings have hipped roofs with a few gabled examples. Additions to rear generally have skillion roofs. Early 20 th -century buildings include more complex roof structures.	Simple gable roofs with similar scale and proportions to existing comparable building types is most appropriate.	No gablets or finials. Avoid 'federation' decorative features. Avoid complex roof structures (eg. combinations of hipped and gabled roofs).

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Roof materials	Corrugated galvanised iron (cgi).	'Heritage' corrugated galvanised iron unpainted or in light to mid grey. Heritage cgi is preferred to Colorbond.	No tiles or tile-profile metal sheeting.
Gutters	O-gee and half-round gutters.	Half-round gutters or small-profile o-gee gutters.	No fascia gutters or 'D-gutters' Avoid large-profile o-gee gutters on verandahs and small-scale cottages.
Verandahs	Most verandahs are raked, with some concave examples. Some later contributory buildings have bull-nose verandahs. Good examples of verandahs have timber posts with no detailing.	Verandahs with simple non-continuous raked cgi roofs with timber posts and no detailing.	No iron-lace or metal posts. Avoid unsymmetrical verandahs. Avoid gablets.
Chimneys	Typical chimneys are constructed of red-brick, most with coursing to top. Some are painted.	If required, new chimneys should be simple, rendered, and of similar proportions to 19 th -century houses.	Avoid large-scale chimneys.
Street furniture	Simple metal street signs. There is a mixture of different late C20 lighting, including metal goose-necked and fluoros attached to Stobie poles.	Street-signs and metal goose-necked street lights are appropriate. Vandal-resistant uplighting of significant Barker Monument would be appropriate. Public seating should be simple timber & metal benches, as in the following example at Anembo Park, nr Littlehampton. 	Avoid large-scale obtrusive street lights. Avoid ornate styles of interpretative signs, street signs or seating.
Footpaths & verges	Footpaths are generally bitumen with concrete kerbing and guttering. There are also some gravel paths and verges.	Continue existing footpaths and kerbing.	Avoid using modern brick paving.

Features	Existing features which contribute to the character of the historic (conservation) zone	Appropriate features for new development within the zone	Inappropriate features for the zone
Fencing & gates	<p>The main forms of contributory fencing in the zone are:</p> <ul style="list-style-type: none"> • hedges • timber post and wire • simple picket fences  <p><i>Post-&-wire fence along western boundary of Netley, 26 Wellington Rd</i></p>	<p>Where fencing is required, preferred styles are:</p> <ul style="list-style-type: none"> • square timber posts with wire strands (refer Netley post & wire) • hedges (refer Netley) • simple pickets • cyclone mesh (refer Netley front fence) <p>If using metal sheeting for rear and side boundaries, prefer corrugated-galvanised iron (not other-profile metal sheeting).</p>	<p>Avoid ornate or modern picket-fence styles.</p> <p>No bluestone, cast-iron lace, exposed modern brick, masonry pillars or brush fences.</p>
Driveways	<p>Existing driveways are generally gravel</p>	<p>Prefer gravel drives. Gravel should preferably be sand-stone-coloured.</p>	<p>Avoid red gravel, & modern paving.</p>
Carports, sheds & outbuildings	<p>Historically, outbuildings were towards the rear.</p>	<p>Sheds and carports should be located behind or setback from the front of the building.</p>	<p>No new carports or sheds to be located between buildings and street.</p>
Gardens	<p>Most gardens have front lawn, with shrubs.</p>	<p>Garden beds which adjoin significant fabric should be planted away from the fabric of significant buildings</p>	<p>Avoid plants and structures which break the dialogue between significant / contributory buildings and street.</p> <p>Gardens, including garden beds and creepers, should not be established adjacent to fabric of significant or contributory buildings.</p>
Trees	<p>There are many significant trees in the zone, most of which are described in table 4 below.</p>	<p>Where possible, retain and maintain significant trees.</p>	<p>Avoid planting trees near significant fabric.</p>



Garden at Netley, 26 Wellington Rd - note contributory fencing and gate (T6)



Detail of stables at Netley, 26 Wellington Rd - note fine stonework & detailing



Garden and entrance to Netley, 26 Wellington Rd - note tiered hedging with lower section to front, and higher section providing privacy for house to rear (T6)



Fencing along western boundary of Netley, 26 Wellington Rd with T5 in background



Garden at Netley, 26 Wellington Rd - note hedging and boundary plantings (T6)



Garden at Netley, 26 Wellington Rd (T6) – note gate & hedging



Contributory house at 11 Exhibition Road, note fencing & street trees (T3)



Contributory house at 2 Fletcher Street, note fencing and street trees



17 Exhibition Rd – note hedges

8.12.5 Landscape character

The Mount Barker Exhibition zone is based around a large community space and has an excellent collection of mature eucalypts, as well as a mature avenue of street trees in Exhibition Rd. The significant landscape features are described below.

Mount Barker Exhibition HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Alexandrina / Wellington Rd	Stand of densely-planted eucalypts	Significant trees	<ul style="list-style-type: none"> Retain and maintain mature trees
T2	Fletcher / Hampden St	Mature deciduous tree	Significant tree	<ul style="list-style-type: none"> Retain and maintain tree
T3	Exhibition Rd	Avenue of trees	Significant trees	<ul style="list-style-type: none"> Retain and maintain mature trees
T4	Alexandrina Rd allotment to rear 22 Exhibition Rd	Significant mature gums to rear of 22 Exhibition Rd	Significant trees	<ul style="list-style-type: none"> Where possible, retain and maintain significant trees
T5	Wellington Rd	Row of mature trees along N side of road	Significant trees	<ul style="list-style-type: none"> Where possible, retain and maintain significant trees
T6	Netley, 26 Wellington Rd	Garden including hedges & mature trees	Landscape, significant trees & hedges	<ul style="list-style-type: none"> Where possible, retain and maintain significant garden



Stand of eucalypts in front of high school, Stephenson St (T1)



Significant tree, Fletcher St (T2)



Avenue along Exhibition St (T3)



22 Exhibition Rd - note sig't gums to rear (T4)



Trees alongside showgrounds, Wellington Rd (T5)



View along Netley Road towards Wellington Road (T6 & T5)



Garden at Netley, 26 Wellington Rd (T6)



Garden at Netley, 26 Wellington Rd (T6)

8.12.6 Significant views

Mount Barker Exhibition HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	Alexandrina Rd	NW	Two rows of eucalypts	<ul style="list-style-type: none"> • Maintain and retain trees

8.12.7 Sense of arrival

Mount Barker Exhibition HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
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EP1	Wellington Rd	from NW	Stand of gum trees on edge of showgrounds (T1)	High school property	Showgrounds
EP2	Exhibition Rd	from NW	Significant tree (T2), then row of trees	Row of trees	Avenue of trees



Avenue along Exhibition St (T3 & EP1)



Trees at entrance to high school (EP2)

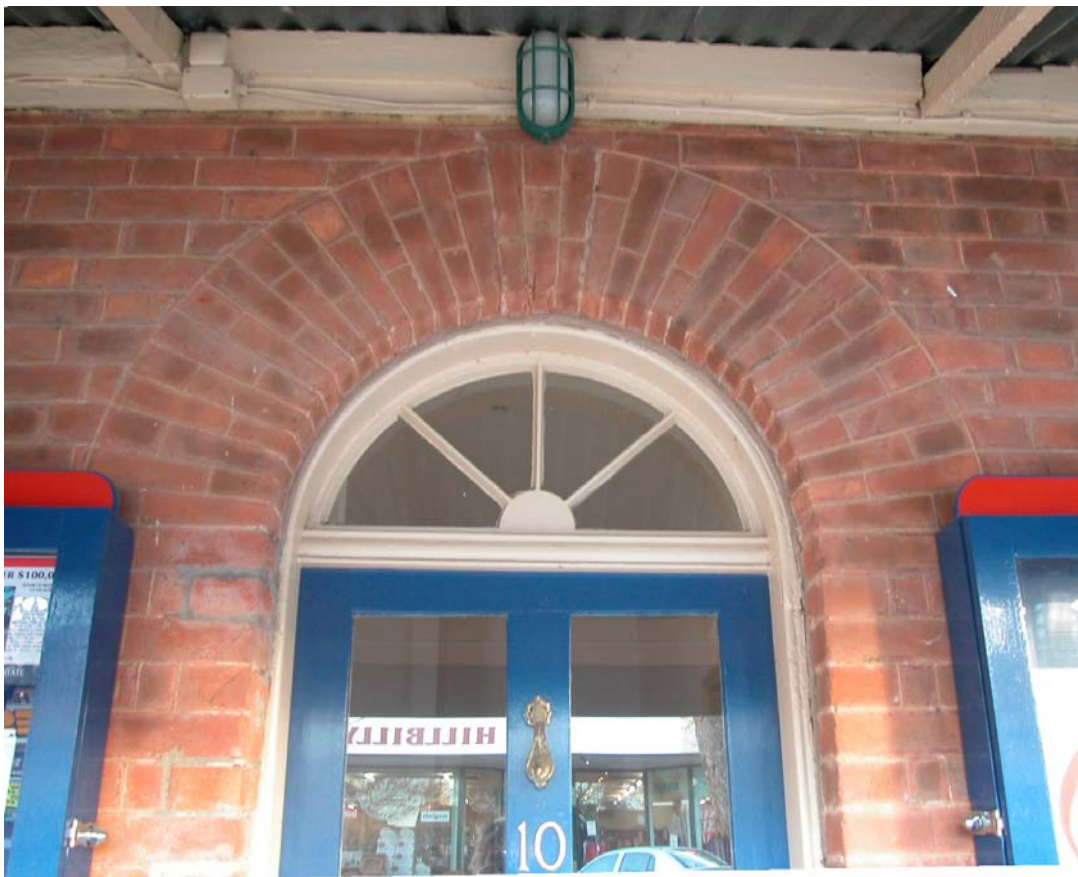
8.13 Mount Barker, Gawler St Historic (Conservation) Zone

8.13.1 Definition of zone

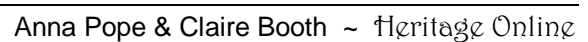
At the centre of the proposed zone lies the proposed Mount Barker State Heritage Area (see section 6.5), an area of outstanding significance, particularly in terms of the religious, community and commercial history of Mount Barker. This Area is centred around the place where Hutchinson Street crosses Gawler Street. However, there is also a considerable amount of significant development along Gawler Street and adjacent streets which is outside the proposed Area, but as also of historical significance. This has been defined as the Gawler Street Historic (Conservation) Zone.

The zone includes those sections of Gawler Street flanking the proposed State Heritage Area. It also includes two outstanding significant features at either end of Gawler street, both of which help to define Gawler Street. These are Auchendarroch at the top of Gawler Street, overlooking the main street and one of the town's earliest hotels; and the railway station at the bottom, providing a significant transport link with Adelaide which helped to revolutionise development in Gawler Street from the 1880s. Both of these places, and the additional streetscapes make a significant contribution to the understanding of Gawler Street's development.

The proposed Historic (Conservation) Zone is defined by figure 8.13 on the following page.



Detail of front door, 10 Gawler St, 2002



8.13.2 Historical summary

The proposed Gawler Street zone is of outstanding significance to the town of Mount Barker. The zone includes the site of the earliest development and first church service in Mount Barker (Kia ora Street); some of the significant commercial development along Gawler Street; important community places including the Catholic church and croquet club; town's most prominent house (Auchendarroch) and most outstanding brick residence (10 Gawler St); and the vital bridge and railway station precinct.

Mount Barker, Gawler St H(C)Z – Table 1 Significant historical themes & features

Theme	Description	Significant places associated with theme
Early establishment	Mount Barker is one of the earliest and most significant of all the towns in the Adelaide Hills. First advertised in 1840, the township of Mount Barker was formally laid out by the end of that year. Most of the streets in the earliest subdivisions of Mount Barker were named after prominent people associated with the early development of the town or the establishment of the colony of South Australia. The most important figure in the colony at the time of the first Special Survey of the Mount Barker area was Governor Gawler, and it was after him that the commercial main street of the town was named in the early 1840s.	<ul style="list-style-type: none"> • Original town plan • Original street names • Surviving avenues of trees (especially oaks and elms)
First building	The earliest known building in the township of Mount Barker was a pisé-de-terre cottage which was constructed by Duncan McFarlane near the end of Kia ora Street. Although the building has now gone, the site is marked by a plaque.	<ul style="list-style-type: none"> • Plaque marking McFarlane's first cottage, Kia ora Street
Commercial development	The first commercial development appeared on Gawler Street in the early 1840. During the 1860s, the number of businesses in Gawler Street increased so quickly, that more than half of the street was occupied by the end of the decade (see historic photographs in Gawler Street CMP). Some of the significant later buildings within the zone are the original office of the <i>Mount Barker Courier</i> and the prominent ANZ and Banksa banks.	<ul style="list-style-type: none"> • Auchendarroch, fr Oakfield Hotel, 17 Adelaide Rd, 1860 • Road bridge + adjacent pedestrian bridge, Road reserve Gawler St, 1860 • Retail shop, Deli & cafe, 15-19 Walker Street, 1860c • Retail – Newsagent, 17 Gawler St, 1860sc, 1990s • Real estate agency, The Professionals, 13 Gawler St, 1870sc • Chemist, Amcal, 45-47 Gawler St, 1870sc, 1850sc • fr Courier office, 71 Gawler St, 1883 • ANZ Bank, 16 Gawler St, 1886 • Thrifty Hardware, 19 Gawler Street, 19 Gawler St, 1890sc • Bank, BankSA, 12-14 Gawler St, 1939c

Theme	Description	Significant places associated with theme
Transport, roads & bridges	As one of the Colony's most significant rural towns, Mount Barker was quick to establish communication networks and improve transport to and from the town. The railway arrived in 1883.	<ul style="list-style-type: none"> • Road Bridge (1860) • Surviving stable blocks including former stables at (8) Walker St (1867, 1879) • Railway station, shed, tank & standpipe, 2 Dutton Rd, 1883 • former stationmaster's house, 74 Gawler St, 1885c
Construction methods & materials	<p>By the end of 1840, the first stone buildings had appeared in the township, and included a police station in McLaren Street (now demolished) and Duncan McFarlane's second house. During the first few years, stone was collected from local fields, but soon, several local quarries were opened, and stone became more readily available and the building material of choice for most permanent structures. The earliest significant buildings which survive in the town are constructed of stone.</p> <p>Home-made bricks were also being produced in the area as early as 1842, when Gloag's Inn was described as having 'low brick walls'.¹² By the mid 1840s, bricks were being produced on a larger scale in Littlehampton, and by 1847, Mount Barker had their own brick kilns. In 1850, the first house built entirely of bricks was constructed in Gawler Street (Harrowfield House). Thereafter, several other brick houses were built in the town during the mid 19th century.</p>	<ul style="list-style-type: none"> • former tinsmith's residence, 10 Gawler St, 1856c • Auchendarroch, 17 Adelaide Rd, 1860, 1878 • Road bridge + adjacent pedestrian bridge, Road reserve Gawler St, 1860, 1880c • Railway station, shed, tank & standpipe, 2 Dutton Rd, 1883 • fr Courier office, 71 Gawler St, 1883 • ANZ Bank, 16 Gawler St, 1886
Architectural quality	During the latter decades of the 19 th century, a large number of grand stone buildings were constructed. Most of the shops were solid and Classical in style, and showed great confidence in the continuing prosperity of the town. More recently, fine examples of their architectural styles can be seen in the Catholic Church and BankSA building.	<ul style="list-style-type: none"> • Catholic Church, 5 Mann St, 1911 • Auchendarroch, 17 Adelaide Rd, 1860, 1878 • Beauty Salon & Hairdresser, former Courier office, 71 Gawler St, 1883 • ANZ Bank, 16 Gawler St, 1886 • Bank, BankSA, 12-14 Gawler St, 1939c • Kernott House, 5 Morphett St, 1950c
Residential development	Although not a core theme, the Gawler Street zone does contain some significant residential development. The crown of the zone is Auchendarroch, for many years a residence of outstanding historical significance in the context of the State. There are also several other significant houses along Gawler Street,	<ul style="list-style-type: none"> • Site of McFarlane's first house, Kia ora St • Auchendarroch • Grace Cottage, shop & café, 24 Gawler St, 1870sc • Millie's Bakery, 5 Gawler St, 1872-74c • Kernott House, 5 Morphett St, 1950c

¹² Ibid, p 50.

Theme	Description	Significant places associated with theme
	the earliest of which was the former tinsmith's residence 'Harrowfield House'. There is also a group of early-20 th -century housing along Kia ora Street which has an outstanding integrity.	<ul style="list-style-type: none"> Houses along Kia ora Street
Street trees & landscape	Avenues of oaks and elms are an historical feature of Mount Barker, although few of the original plantings survive. The main surviving avenues are along Druids Avenue (see Druids Ave H(C)Z) and the avenue of elms which lined the original Adelaide Road (now an extension of Hack Street).	<ul style="list-style-type: none"> Avenue of elms, Mann Street

8.13.3 Places which reflect the historic character of the zone

Places in the zone which are either recommended for individual listing or make a contribution to the character of the zone are listed in the table below. Places are listed in address order for easy reference. In the cases of places with individual recommendations elsewhere in this report, a survey number has been included. Each place is identified as being either of state or local significance or a contributory place within the zone.

The character and integrity of the zone would be diminished by the loss of either significant or contributory places.

Mount Barker, Gawler St H(C)Z – Table 2 Significant & contrib. places in the zone

	St No	Street	Town	Place name	CT	Pope rec
1022	17	Adelaide Rd	Mount Barker	Auchendarroch	5244-233	S
1113	2	Dutton Rd	Mount Barker	Railway station, shed, tank & standpipe	5176-721	L*
1114	(7)	Dutton Rd	Mount Barker	Lasscock's Nursery, fr industrial building	5805-639	L
1137	1-3	Gawler St	Mount Barker	Mitsubishi Motors	5612-835	C
1138	5	Gawler St	Mount Barker	Millie's Bakery	5852-585,	C
1139	7-7a	Gawler St	Mount Barker	Retail Shops, New Image + Hillbillies	5852-252	C
1140	9-11	Gawler St	Mount Barker	Pair of shops, 9-11 Gawler Street	5334-100	NC
1141	13	Gawler St	Mount Barker	Real estate agency -F1187 The Professionals	5334-100	L
1142	17	Gawler St	Mount Barker	Retail - Newsagent	5802-493	C
1143	19	Gawler St	Mount Barker	Thrifty Hardware, 19 Gawler Street	5802-494	C
1144	21	Gawler St	Mount Barker	Retail shop, Menswear, 21 Gawler Street	4247-655, 5458-139, 5458-322	N
1153	39	Gawler St	Mount Barker	Commercial premises, 'S'	5864-365	N
1154	41-43	Gawler St	Mount Barker	Business Office, Von Doussa Mall	5092-505, 5092-504	NC
1155	45-47	Gawler St	Mount Barker	Chemist, Amcal	5560-800	L
1161	65-67	Gawler St	Mount Barker	Retail shops, former stockyards building	5128-774	C
1162	1-10 / 69'	Gawler St	Mount Barker	Group of shops	5004-various	NC
1164	71	Gawler St	Mount Barker	Beauty Salon & Hairdresser, former Courier office	2238-111, 2238-110	L*
1165	73	Gawler St	Mount Barker	Professional Physician	5323-30	NC
1168	2	Gawler St	Mount Barker	House	5662-794	C

	St No	Street	Town	Place name	CT	Pope rec
1169	4-8	Gawler St	Mount Barker	Commonwealth Bank & Adelaide Bank	5348-554	NC
1170	10	Gawler St	Mount Barker	former tinsmith's residence	5410-636	S
1171	10a	Gawler St	Mount Barker	Shop, Nutcracker	5410/636	N
1172	12-14	Gawler St	Mount Barker	BankSA	5084-749	S
1173	16	Gawler St	Mount Barker	Bank, ANZ	5750-945	L*
1174	18-22	Gawler St	Mount Barker	Century 21 real estate agency & Nicola's Pizza Bar	5230-72	NC
1175	24	Gawler St	Mount Barker	Grace Cottage, shop & café	5128-322	C
1176	28	Gawler St	Mount Barker	Row of shops	5133-58	NC
1187	70-72	Gawler St	Mount Barker	Retail - Household Furniture (Solomons Carpets)	5139-195,	NC
1188	70-72	Gawler St	Mount Barker	Restaurant - Texas Bar & Grill	5070-699	NC
1189	70-72	Gawler St	Mount Barker	Retail - bread, Original Food Company	5070-700	NC
1190	74	Gawler St	Mount Barker	fr stationmaster's house	5474-846	L
1191	Units 1-22 / 76	Gawler St	Mount Barker	Units	5013- various	N
1192		Gawler St road reserve	Mount Barker	Road bridge & adjacent pedestrian bridge	road reserve	L
1245	(19)	Hutchinson St (1/26 Morphett St)	Mount Barker	Radio rentals	5004-854	NC
1271	2a	Kia ora St	Mount Barker	House	5503-893	C
1272	2	Kia ora St	Mount Barker	House	5269-713	C
1273	4	Kia ora St	Mount Barker	House	5707-660	C
1274	6	Kia ora St	Mount Barker	House	5258-119	C
1275	8	Kia ora St	Mount Barker	House	5112-992	C
1276	3	Kia ora St	Mount Barker	House	5230-469	C
1277	5	Kia ora St	Mount Barker	House	5593-760	C
1278	7	Kia ora St	Mount Barker	House	5292-47	C
1279	9	Kia ora St	Mount Barker	House	5513-324	C
1280	11	Kia ora St	Mount Barker	House	5437-63	C
1281	13	Kia ora St	Mount Barker	House	5112-237	C
1282		Kia ora St	Mount Barker	Plaque, site of McFarlane's Hut		lc
1283		Kia ora St	Mount Barker	River Red Gum, site of first service	River reserve	L
1287	3	Mann St	Mount Barker	House	5513/5	C
1288	5	Mann St	Mount Barker	Catholic Church	5513-5	L
1294	31	Mann St	Mount Barker	Croquet club	5866-962	L
1295		Mann St	Mount Barker	Avenue of elms	road reserve	L
1363	2/18	Stephen St	Mount Barker	Toyworld	5273/339 5273/256	NC
1382	10-12	Walker St	Mount Barker	pair of shops	5322-486	N
1383	11	Walker St	Mount Barker	Garage to rear 13 Gawler Street	5098/667	NC
1384	(8)	Walker St	Mount Barker	Office, fr stables	5322-486	L
1385	15-19	Walker St	Mount Barker	Retail shop, Deli & cafe	5802-492	C

8.13.3.1 General recommendations for significant places in zone

Places of State or local heritage significance within the Historic (Conservation) Zone should:

be retained;

- be protected;
- be conserved (where possible);
- not be altered or added to, except in ways which preserve and enhance the historic significance of the place;
- not have large or potentially-large trees planted within 10 metres of historic fabric.

Places in the State Heritage Register are protected by the *Heritage Act, 1993*, and development applications for these places will be assessed by the State Heritage Branch of the Department of Environment and Planning.

8.13.3.2 General recommendations for contributory places in zone

Contributory places in the Historic (Conservation) Zone should:

- be retained;
- be maintained and modified in ways which preserve and enhance their historic character.

8.13.4 Definition of zone character & recommendations for new development

The typical characteristics of the significant and contributory places in the Area, as well as the corresponding desirable and non-desirable features of new development within the Area have been analysed and fully described in Heritage Online's *Gawler Street Conservation Management Plan (2003)*



Banksa, 12-14 Gawler St, 2002



View from Banksa, 12-14 Gawler St



ANZ Bank, 14 Gawler St, 2002



Detail of Gawler St bridge



Railway station, 2002, note fence



8 Kia ora St, note fencing



3 Kia ora St, note fencing



View along Kia ora Street from SE – showing street trees, 2002 (T10)

8.13.5 Landscape character

Mount Barker Gawler St HCZ – Table 4 Landscape features within zone

No.	Location	Description	Category	Recommendations
T1	Auchendarroch, 17 Adelaide Rd	Remnant garden of historic house, especially mature trees	Landscape & Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T2	N end of Hack Street, eastern side (nr Gawler St)	Group of three mature plane trees	Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T3	Reserve, Hack Street	Triangular reserve located on site of first Presbyterian cemetery.	Topography	<ul style="list-style-type: none"> • Retain as community open space
T4	Hack Street to S of Mann St	Avenue of historic mature elms (L1066)	Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T5	Croquet club grounds, Mann Street	Garden and open space of historic croquet club	Landscape	<ul style="list-style-type: none"> • Retain and maintain as sports or community space • Avoid subdivision
T6	Mann Street, between Adelaide Rd & Stephen St	Remnant avenue of oaks, including 2 different species of oak, some mature historic oaks, and some young oaks.	Significant trees	<ul style="list-style-type: none"> • Retain and maintain existing oaks • Reinstate oaks where possible as required
T7	Western Flat Creek including creek-side vegetation	Creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek (mostly European).	Topography & landscape	<ul style="list-style-type: none"> • Maintain creek area by regular removal of weeds and debris

No.	Location	Description	Category	Recommendations
T8	Mann Street between McLaren & Gawler Street	Remnant avenue of oaks	Significant trees	<ul style="list-style-type: none"> • Retain and maintain significant trees
T9	8 Kia ora St	Garden of no. 8. especially planting alongside creek with some mature trees	Landscape & Significant trees	<ul style="list-style-type: none"> • Avoid subdivision • Where possible, retain and maintain landscape & trees
T10	Kia ora St, SE end	Mature trees at SE end of street	Significant trees	<ul style="list-style-type: none"> • Where possible, retain and maintain landscape & trees
T11	Kia ora St / Mt Barker Creek	Large mature tree adjacent creek and to rear Catholic church, site of first church service in town.	Significant tree	<ul style="list-style-type: none"> • Retain and maintain significant tree
T12	Mount Barker Creek including creek-side vegetation	Creek including creek topography (creek beds, meandering route & banks), & vegetation to either side of creek (mostly European).	Topography & landscape	<ul style="list-style-type: none"> • Maintain creek area by regular removal of weeds and debris, and monitoring of pollution
T13	Railway station precinct	Remnant historic railway station garden including mature trees	Landscape & Significant trees	<ul style="list-style-type: none"> • Retain and maintain surviving garden and trees
T14	Railway station precinct	Row of mature trees along ridge behind station	Topography & Significant trees	<ul style="list-style-type: none"> • Retain and maintain trees



Trees at Auchendarroch (T1)



Trees at Auchendarroch (T1)



Avenue of trees from SW, Hack St (T4)



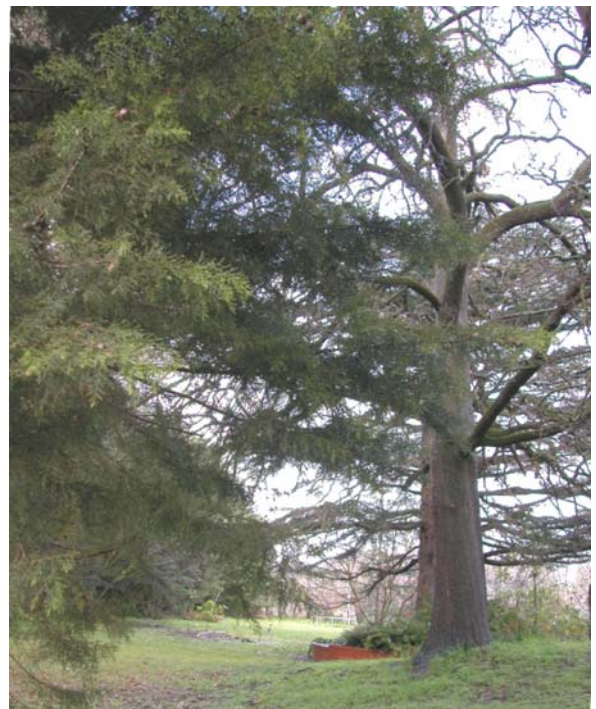
Avenue of oaks, Mann St (T6)



Western Flat Creek, from Mann St (T7)



Garden at 8 Kia ora St (T9)



Kia ora Street, mature trees & creek-side (T10 & 12)



Trees beside creek from Kia ora St (T10 & 12) with industrial building in background



Creek view from Kia ora Street (T12)



Railway precinct (T13)



Row of trees behind railway station (T14)

8.13.6 Significant views

The significant views from this zone contribute to the strong sense of place within the zone as well as providing an important enhancing backdrop for the zone.

Mount Barker Gawler St HCZ – Table 5 Significant views from zone

View	Position for viewing	Direction of view	Description of view	Recommendations
V1	Adelaide Rd at creek crossing	W	View along Western Flat Creek through landscaped park	<ul style="list-style-type: none"> Retain and maintain creek and park
V2	Adelaide Rd to S of Auchendarroch	W	View towards backdrop hill (SW of Auchendarroch) including new tiered plantings of conifers & deciduous trees	Avoid subdivision and development of hill-face
V3	Adelaide Rd to S of Auchendarroch	W	View to distant eucalypts	<ul style="list-style-type: none"> Where possible, retain significant trees
V4	Gawler Street / Mount Barker Creek	N	View along creek	<ul style="list-style-type: none"> Maintain creek area by regular removal of weeds and debris, and monitoring of pollution Where necessary, revegetate with appropriate species
V5	Railway Station	N	View towards hill including mature eucalypts	<ul style="list-style-type: none"> Avoid further subdivision Where possible, retain and maintain significant trees
V6	Mount Barker Creek	S	View along creek	<ul style="list-style-type: none"> Maintain creek area by regular removal of weeds and debris, and monitoring of pollution Where necessary, revegetate with appropriate species



Auchendarroch entry (T1) with V3 in background

8.13.7 Sense of arrival

The significant entry points are described in the following table.

Mount Barker Gawler St HCZ – Table 6 Significant Entry Points

No.	Road	Direction	Feature to left	Feature to right	Vista
EP1	Adelaide Rd	from N	Mitsubishi motors	Auchendarroch	Planes to top of Hack Street with avenue of elms in distance
EP2	Adelaide Rd	from S	–	Croquet club	Auchendarroch
EP3	Dutton Rd	from S	Creek	Railway station	Stone bridge and avenue of plane trees



Croquet clubhouse from NE, Mann St (EP3 & T5)



Auchendarroch from SE, 2004 (EP1)



Railway station, 2002 (EP3 & T14)



Water tank, railway station 2002 (EP3)



Train shed, railway station, 2002 (EP3)